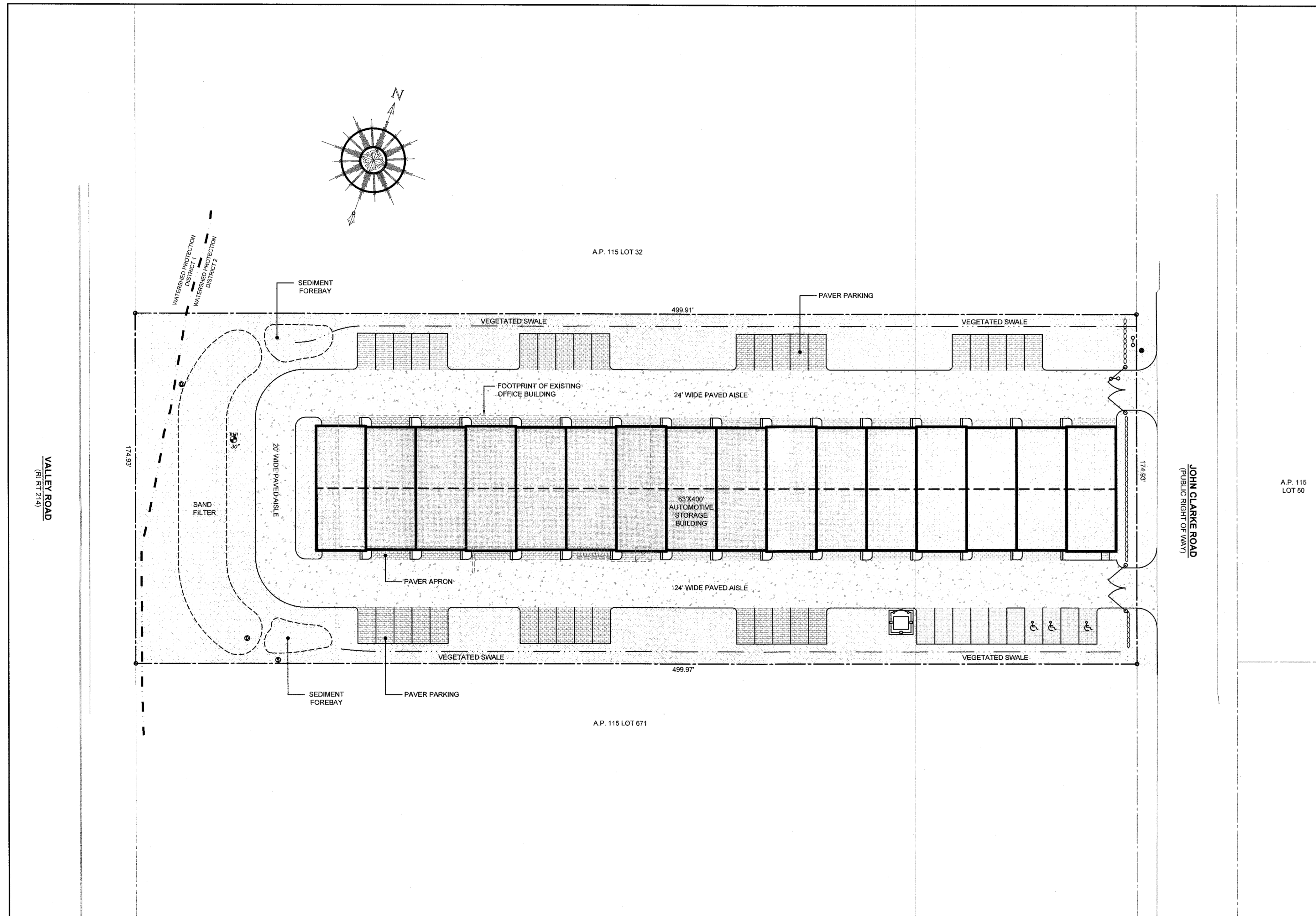


"NEWPORT CAR VAULTS"

PROPOSED AUTOMOTIVE STORAGE UNITS
ASSESSOR'S PLAT 115 LOT 33
55 JOHN CLARKE ROAD
MIDDLETOWN, RHODE ISLAND



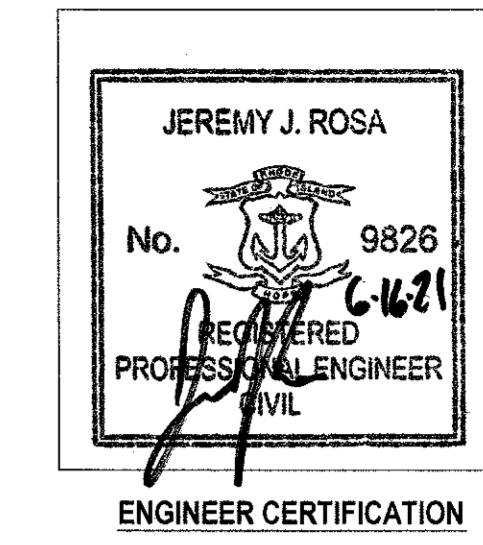
SITE PLAN

SCALE = 1"=30'

CIVIL ENGINEER:

NORTHEAST ENGINEERS & CONSULTANTS, INC.

 A KNOWLEDGE CORPORATION
 6 VALLEY ROAD MIDDLETOWN RI 02842
 PHONE (401) 848-0810 FAX (401) 846-4169
 WWW.NORTHEASTENGINEERS.COM



OWNER:

EASTON POND REALTY, LLC
 c/o BLAKE HENDERSON
 55 JOHN CLARKE ROAD
 MIDDLETOWN, RI 02842

LANDSCAPE ARCHITECT:

CHARLES EARL LANDSCAPE ARCHITECTURE LLC
 6 TONI LYNN TERRACE
 MIDDLETOWN, RI 02842
 charles@charlesearl.design

JUNE 16, 2021 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

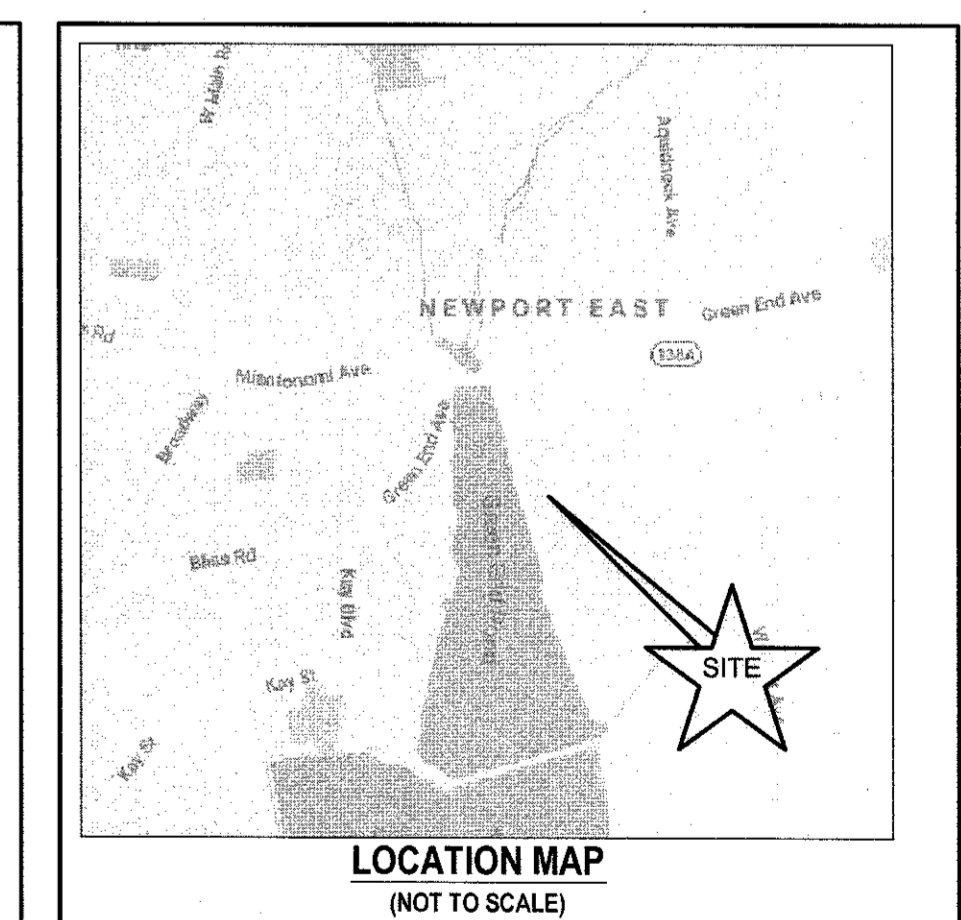
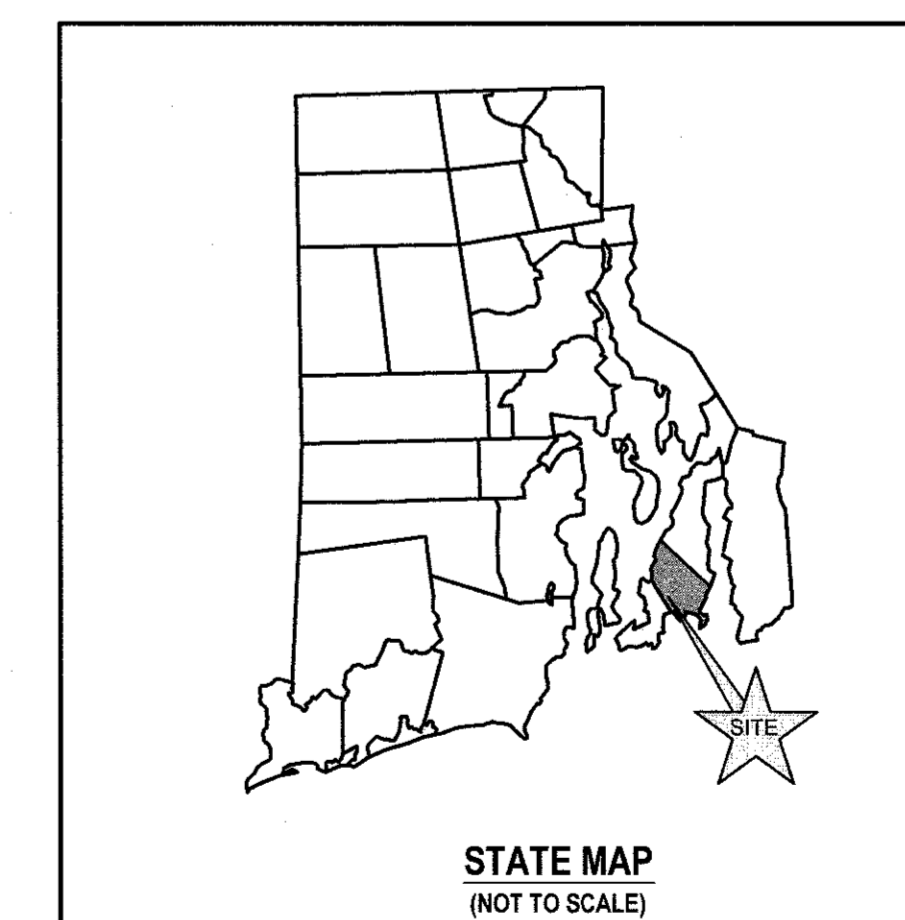
- TITLE SHEET
- NOTES
- EXISTING CONDITIONS PLAN
- PROPOSED CONDITIONS PLAN
- PROPOSED SOIL EROSION AND SEDIMENT CONTROL PLAN
- PROPOSED DETAILS

- SHEET 1
- SHEET 2
- SHEET 3
- SHEET 4
- SHEET 5
- SHEETS 6 - 8

PLAN ADDENDUMS

- COMPREHENSIVE BOUNDARY SURVEY
- LANDSCAPE PLANS

- SHEET L-1
- SHEETS LS1-LS8



SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE	COMMENTS
RIDEM & RIDOT	JAN 2021	RIDOT PAP AND RPDDES APPLICATION
RIDEM & RIDOT	APR 2021	RIDOT PAP AND RPDDES REVISIONS
TOWN OF MIDDLETOWN	JUN 2021	PRELIMINARY PLAN APPLICATION

GENERAL NOTES

- PROPERTY LINE AND EXISTING CONDITIONS INFORMATION TAKEN FROM PLAN ENTITLED "A.P. 115 LOT 33 EASTON POND REALTY LLC, 55 JOHN CLARKE ROAD, MIDDLETOWN, RHODE ISLAND, COMPREHENSIVE BOUNDARY SURVEY & EXISTING CONDITIONS", PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. (NE&C) DATED JUNE 3, 2021.
- SUBJECT PROPERTY IS ZONED OP (OFFICE PARK), ABUTTING PROPERTIES ARE ALSO ZONED OP.
- NORTH ARROW BASED ON RHODE ISLAND STATE PLANE COORDINATES (RISP).
- PROPERTY IS LOCATED WITHIN A FEMA ZONE "X" PER FIRM MAP 44005C0093J EFFECTIVE 9/4/13.
- A PORTION OF THE PROPERTY IS LOCATED WITHIN THE TOWN OF MIDDLETOWN WATERSHED PROTECTION DISTRICT 1. THE REMAINDER OF THE PROPERTY LIES WITHIN WATERSHED PROTECTION DISTRICT 2.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIS SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
- THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- THE PROPOSED DEVELOPMENT DOES NOT LIE IN ANY OF THE FOLLOWING AREAS:
 - NATURAL HERITAGE AREAS (RIDEM)
 - GROUNDWATER AQUIFERS, STATE DESIGNATED "GROUNDWATER RESERVOIRS", RECHARGE AREAS, OR WELLHEAD PROTECTION AREAS
- PROJECT REQUIRES APPROVAL BY RIDEM RIDPES AS THE TOTAL DISTURBANCE IS GREATER THAN ONE (1) ACRE.
- THERE ARE NO WETLANDS OR HYDRIC SOILS PRESENT ON SITE.
- RIDOT TRAFFIC NOTE: THE PROPOSED USE IS EXPECTED TO SIGNIFICANTLY REDUCE THE NUMBER OF TRIPS GENERATED TO AND FROM THE SITE. AS SUCH, NO NEGATIVE TRAFFIC IMPACT IS EXPECTED ON ADJACENT RIDOT ROADS.
- THE ANTICIPATED START OF CONSTRUCTION IS MARCH 2022. THE ANTICIPATED END OF CONSTRUCTION IS MARCH 2023. THESE DATES ARE SUBJECT TO CHANGE BASED ON PERMITTING SCHEDULE AND MARKET FLUCTUATIONS.
- ALL REQUIRED BICYCLE PARKING SHALL BE PROVIDED WITHIN THE INDIVIDUAL STORAGE UNITS. NO EXTERNAL STORAGE IS PROVIDED OR NECESSARY.

GRADING NOTES

- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- THE TOWN SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITIES, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
- THE LIMITS OF DISTURBANCE SHALL BE DELINEATED IN THE FIELD BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITY.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.
- IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

- THE LOCATION OF PROPOSED ELECTRICAL CONNECTION TO THE EXISTING OVERHEAD SERVICE ALONG JOHN CLARKE ROAD IS PRELIMINARY. EXISTING ELECTRICAL SERVICE CONDUIT MAY BE RE-USED WITH PERMISSION FROM NATIONAL GRID.
- THE PROPOSED WATER SERVICE REQUIRES THE REVIEW AND APPROVAL OF THE NEWPORT WATER DEPARTMENT.
- ANY NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
- THE PROPOSED SEWER SERVICE MODIFICATION IS SUBJECT TO REVIEW AND APPROVAL BY MIDDLETOWN PUBLIC WORKS. IF IT IS DETERMINED THAT THE EXISTING SEWER SERVICE LINE IS UNSUITABLE, A NEW SERVICE LINE MAY BE REQUIRED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
- IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTASTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DRAINAGE NOTES

- ALL DRAIN PIPES ON SITE SHALL BE ADS-N12 TYPE IB OR SCH40 PVC UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL DRAIN BASINS SHALL BE NYLOPLAST ADS DRAIN BASINS AS INDICATED ON THE DETAIL SHEETS UNLESS OTHERWISE NOTED ON THESE PLANS.
- STRUCTURE ROOFTOP SHALL DRAIN TO GRADE ON PAVED SURFACES OR CONCRETE SPLASH BLOCKS.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

- CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- CONSTRUCTION SEQUENCE:
 - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
 - ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA A PAVED ACCESS POINT. SHOULD THIS NO LONGER BE POSSIBLE AT ANY POINT DURING CONSTRUCTION, THE CONTRACTOR SHALL CONSTRUCT A SUPPLEMENTAL STABILIZED CONSTRUCTION ENTRANCE CONFORMING TO THE DETAIL PROVIDED.
 - INSTALL SILT FENCES, SILT SACKS, AND/OR FILTER SOCKS AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES.
 - CONTRACTOR TO LOCATE ANY EXISTING SEWER AND WATER SERVICES TO EXISTING STRUCTURES. SERVICES SHALL BE DISCONNECTED AND MARKED IN THE FIELD FOR LATER USE OR REMOVAL.
 - DEMOLISH EXISTING STRUCTURE, APPURTENANCES, AND EXISTING PAVEMENT WITH THE EXCEPTION OF A PAVED CONSTRUCTION ENTRANCE. REMOVE AND DISPOSE OF ALL MATERIAL AT A LICENSED OFF-SITE FACILITY.
 - ROUGH GRADE SITE PER SOIL EROSION AND CONSTRUCTION GRADING PLAN.
 - BEGIN CONSTRUCTION OF STRUCTURE.
 - CONSTRUCT PERIMETER SWALES.
 - EXCAVATE FOR AND INSTALL DRAINAGE SYSTEM.
 - CONNECT NEW UTILITY SERVICES IN COORDINATION WITH RESPECTIVE PROVIDERS.
 - FINAL GRADE SITE AND INSTALL BINDER PAVEMENT COURSE. INSTALL BASE STONE FOR PVIOUS PAVERS.
 - REMOVE CONSTRUCTION SEDIMENTS FROM DRAINAGE SYSTEM.
 - TOP PAVEMENT COURSE AND INSTALL PAVERS ACCORDING TO THE DETAIL PROVIDED.
 - MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

EARTHWORK NOTES:

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- AREA OF PROPOSED DRAINAGE SYSTEM SHALL NOT BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
- ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUSIDENCE, OR OTHER RELATED PROBLEMS.
- FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
- ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.

VEGETATIVE PRACTICE:

- PERMANENT MEASURES:
- SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
 - LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
 - A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)

- LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10) 600 LBS/ACRE
- SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LB/ACRE
- STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

MAINTENANCE

- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED:
- AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - ANY INSTALLED SILT SACKS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. DURING HEAVY RAIN EVENT, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SACKS IN ORDER TO PREVENT FLOODING. SEDIMENT TRAPPED WITHIN SACKS SHALL BE DISPOSED OF OFF SITE AT A LICENSED FACILITY OR REGRADED ON THE SITE.
 - STONE RIPRAP SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - IF INSTALLED, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
 - SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN BUILDING OFFICIAL/ENGINEER.

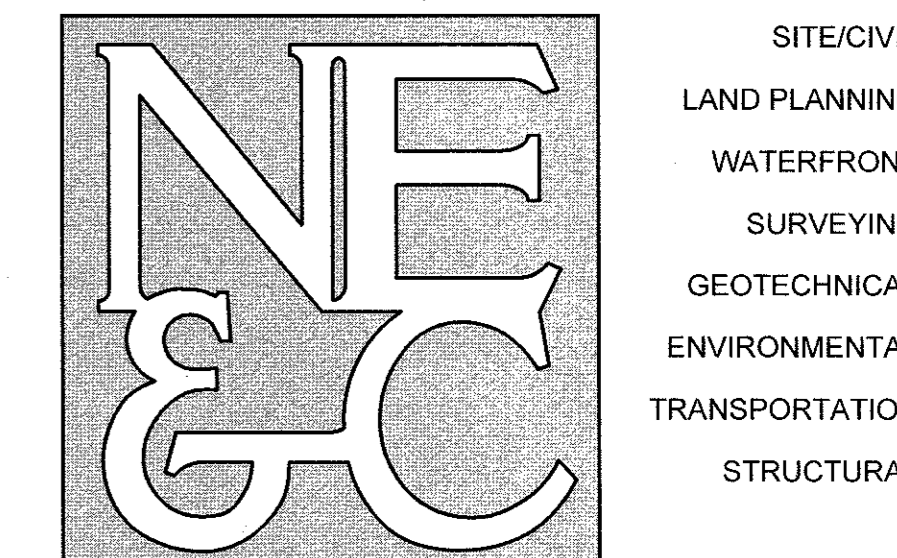
STORMWATER MAINTENANCE NOTES

- SAND FILTER MAINTENANCE:
 - GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
 - THE FILTER SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST ANNUALLY AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES). SEDIMENTS COLLECTED WITHIN THE TOP STRATA OF THE FILTER SHALL BE GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
 - THE FOLLOWING SHALL ALSO BE COMPLETED ON AN ANNUAL BASIS:
 - THE SLOPES OF THE FILTER SHOULD BE INSPECTED FOR EROSION AND GULLING.
 - REINFORCE ANY EXISTING RIPRAP IF IT IS FOUND TO BE DEFICIENT, EROSION IS PRESENT AT THE OUTLET STRUCTURES, OR ANY EXISTING RIPRAP HAS BEEN COMPROMISED.
 - THE UNDERDRAIN RISER OR OVERFLOW OUTLET STRUCTURE SHALL BE INSPECTED FOR LEAKY JOINTS OR CRUSHED LINES. UNDERDRAIN AND OUTLET PIPE SHALL BE CLEAN AND FREE OF MATERIALS THAT CAN REDUCE FLOW.
 - ANY AREAS WITHIN THE EXTENTS OF THE FILTER THAT ARE SUBJECT TO EROSION OR GULLING SHOULD BE REPLENISHED WITH THE ORIGINAL DESIGN MATERIAL AND RE-VEGETATED ACCORDING TO DESIGN DRAWINGS. SLOPE PROTECTION MATERIAL SHOULD BE PLACED IN AREAS PRONE TO EROSION. EMBANKMENT STABILITY SHOULD BE INSPECTED FOR SEEPAGE AND BURROWING ANIMALS.
 - MOW THE GRASS AROUND THE PERIMETER OF AND WITHIN THE FILTER. SEED BARE AREAS, AND REMOVE LITTER AND DEBRIS AT LEAST THREE TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN TWELVE INCHES. REMOVE ANY INVASIVE VEGETATION WITHIN THE EXTENTS OF THE FILTER. ANY INVASIVE VEGETATION ENCRORCHING UPON THE PERIMETER OF THE FILTER SHOULD BE PRUNED OR REMOVED IF IT IS PROHIBITING ACCESS TO THE FILTERS, COMPROMISING SIGHT VISIBILITY, AND/OR COMPROMISING THE ORIGINAL DESIGN INTENT. IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER INFILTRATES WITHIN TWO DAYS FOLLOWING STORMS.
 - SILT/SEDIMENT SHOULD BE REMOVED FROM THE FILTER BED ANNUALLY, WHEN ACCUMULATION EXCEEDS 1 INCH, OR WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY. IF STANDING WATER IS OBSERVED MORE THAN 48 HOURS AFTER A STORM EVENT, THEN THE TOP 6 INCHES OF SAND SHOULD BE REMOVED AND REPLACED. IF DISCOLORED OR CONTAMINATED MATERIAL IS FOUND BELOW THIS REMOVED SURFACE THEN THAT MATERIAL SHOULD ALSO BE REMOVED AND REPLACED UNTIL ALL CONTAMINATED SAND HAS BEEN REMOVED FROM THE FILTER MEDIA. THE SAND SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- CONVEYANCE STRUCTURE MAINTENANCE:
 - ALL INLET / OUTFLOW PIPES ARE TO BE INSPECTED AT LEAST THREE TIMES IN THE FIRST SIX MONTHS OF OPERATION. EVIDENCE OF CLOGGING, OR RAPID RELEASE OF FLOW SHALL BE REPORTED TO THE PROJECT ENGINEER AND REMEDIATED IMMEDIATELY.
 - CONVEYANCE PIPES SHOULD BE INSPECTED BIANNUALLY. ANY STRUCTURAL FAULTS SHOULD BE REPAIRED AS NECESSARY FOR PROPER FUNCTION OF THE STRUCTURE.
 - ROOF RUNOFF STRUCTURES SUCH AS GUTTERS AND DOWNSPOUTS SHOULD BE CLEAN AND FREE OF OBSTRUCTIONS THAT REDUCE FLOW. A REGISTERED PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF NECESSARY TO DETERMINE WHETHER A STRUCTURE HAS BEEN COMPROMISED.
- SEDIMENTS AND TRASH SHALL BE REMOVED FROM SWALES ON AN ANNUAL BASIS. EXCESSIVE VEGETATION THAT NEGATIVELY AFFECTS THE HYDRAULIC EFFICIENCY OF THE SWALE SHALL BE PRUNED OR REMOVED. ANY EXPOSED SOIL SHALL BE REINFORCED WITH NEW PLANTINGS IMMEDIATELY AFTER DISTURBANCE.
- MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNER.

ABBREVIATIONS

AC	ASPHALT PAVEMENT
ADJ	ADJACENT
AP	ASSESSOR'S PLAT
ACCESS	ACCESSIBLE
ARCH	ARCHITECT
BC	BOTTOM OF CURB
BH	BORING HOLE
BIT	BITUMINOUS
BOW	BOTTOM OF WALL
CLR	CLEARANCE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECT
COTG	CLEAN OUT TO GRADE
CF	CUBIC FOOT
DEMO	DEMOLISH
DI	DRAIN INLET
DIA	DIAMETER
DMH	DRAIN MANHOLE
dp	DROP PIPE
DS	DOWN SPOUT
DWG	DRAWING
E	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FFE	FINISH FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FT	FEET
G	GAS
GAL	GALLON
GV	GATE VALVE
INV	INVERT
JOINT	JOINT
L	LENGTH
LAND	LANDSCAPE
NTS	NOT TO SCALE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
PAVT	PAVEMENT
PVC	POLYVINYLCHLORIDE
R	RADIUS
RC	REINFORCED CONCRETE
RECONN	RECONNECT
RIBS	RHODE ISLAND HIGHWAY BOUND
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROW	RIGHT OF WAY
S	SLOPE, SEWER
SF	SQUARE FEET
SHT	SHEET
SMH	SEWER MANHOLE
STA	STATION
STRUCT	STRUCTURAL
TC	TOP OF CURB
TOP	TOP OF SURFACE
TOW	TOP OF WALL
UGT	UNDERGROUND TELEPHONE
TYP	TYPICAL
W	WATER
W	WITH
WWW	WELDED WIRE MESH

NORTHEAST ENGINEERS & CONSULTANTS, INC.



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- SITE/CIVIL
 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL

2	TOWN SUBMISSION	15JUN21	
1	RIDEM & RIDOT REVISIONS	20APR21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	N/A	Date:	20JAN21
Checked by:	GES		

Project Title:
A.P. 115 LOT 33
55 JOHN CLARKE ROAD
 MIDDLETOWN
 RHODE ISLAND

Client/Owner:
EASTON POND REALTY, LLC

Issued for:
PERMITTING

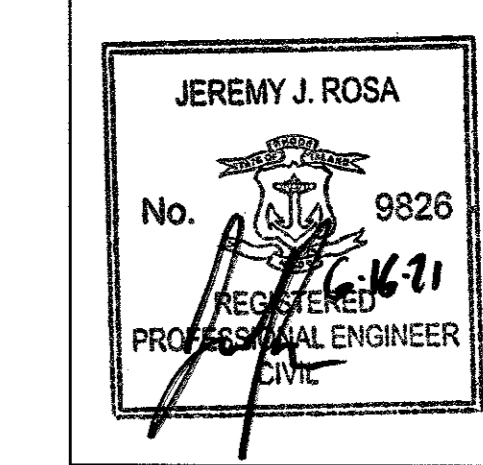
Drawing Title:
NOTES

Drawing Number:
C-2

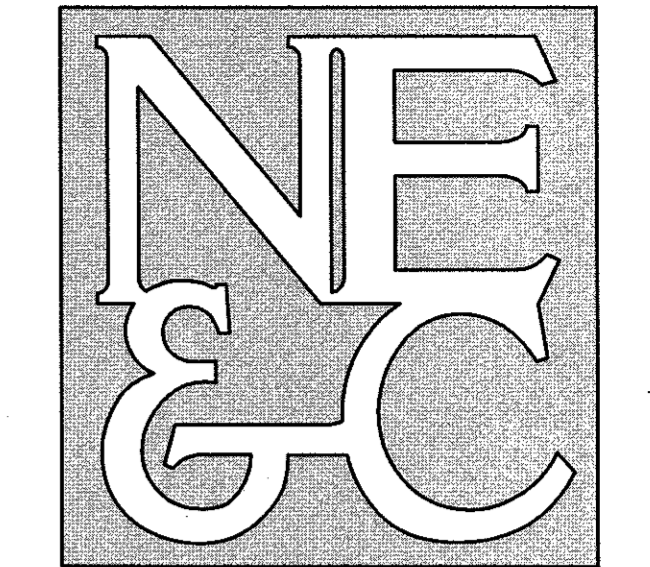
Sheet **2** of **8**

Project Number:
20207.0

Survey Index:
13 - 115 - 33



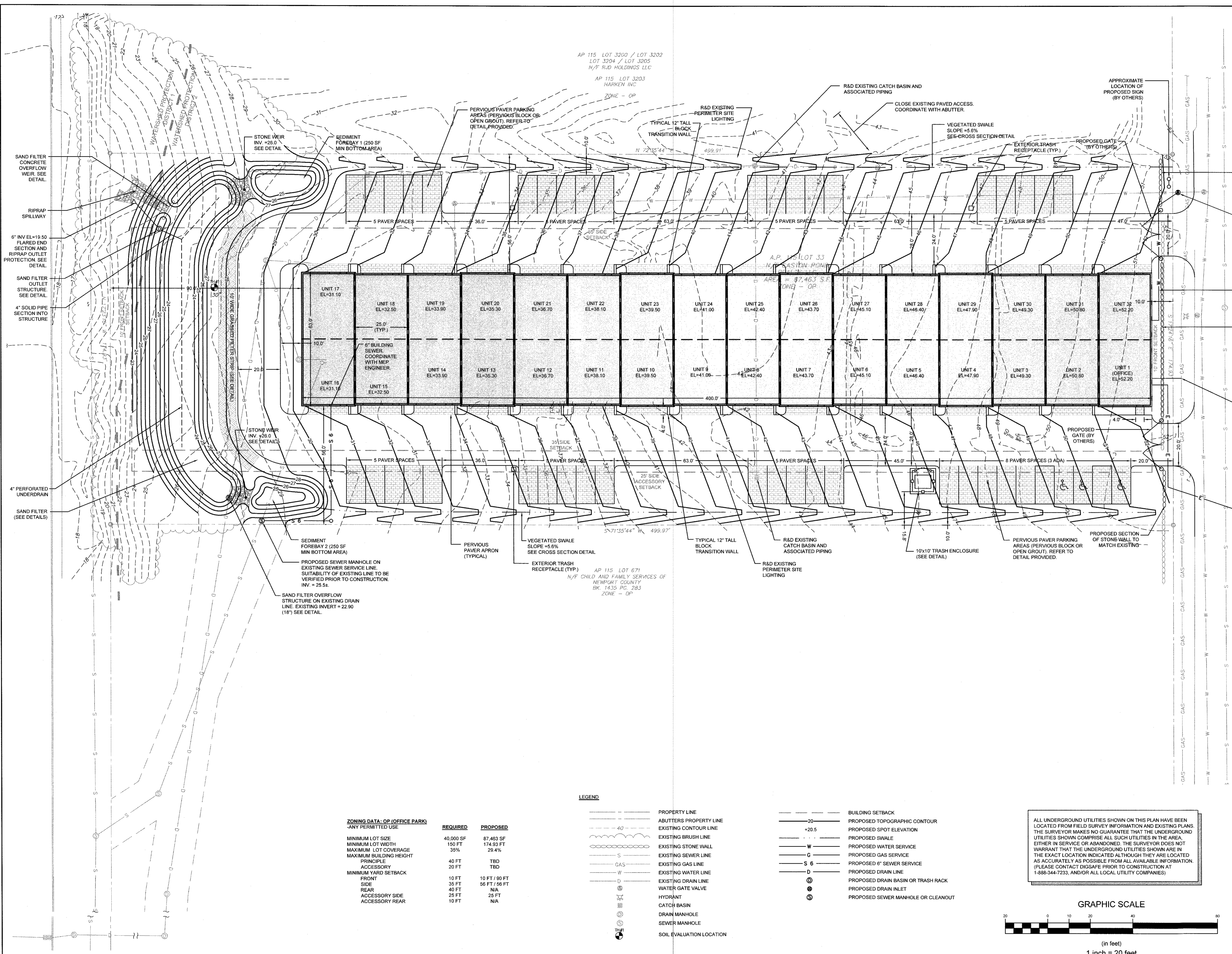
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 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL



PROPOSED WATER METER. EXISTING WATER SERVICE SUITABILITY TO BE DETERMINED BY NEWPORT WATER DEPT.

AP 115 LOT 50
 N/F LANDPOINT LLC
 VOLUME 997, PAGE 243
 ZONE - OP

PROPOSED WATER SERVICE LINE TO BE SIZED BY OTHERS. COORDINATE WITH MEP ENGINEER.

EXISTING STONE WALL TO BE PRESERVED

PROPOSED GAS TO BE COORDINATED WITH NATIONAL GRID GAS.

PROPOSED UG ELECTRICAL SERVICE FROM OVERHEAD LINES TO BE COORDINATED WITH NATIONAL GRID. EXISTING ELECTRICAL SERVICE CONDUITS MAY BE RE-USED WITH PERMISSION FROM THE PROVIDER.

2	TOWN SUBMISSION	16JUN21	
1	RIDEM & RIDOT REVISIONS	20APR21	
No.	Revision	Date	App.
Designed by:	JJR	Drawn by:	JJR
Checked by:	GES		
Scale:	1"=20'	Date:	20JAN21

Project Title:
A.P. 115 LOT 33
55 JOHN CLARKE ROAD
 MIDDLETOWN
 RHODE ISLAND

Client/Owner:
 EASTON POND REALTY, LLC

Issued for:
 PERMITTING

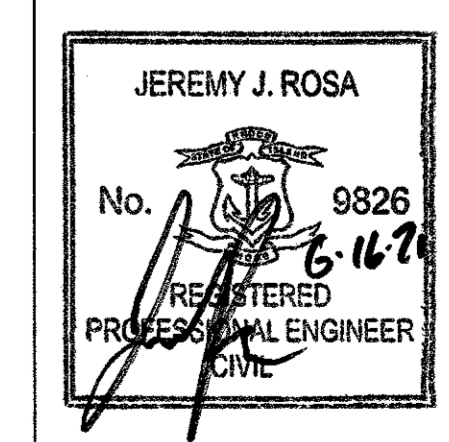
Drawing Title:
PROPOSED CONDITIONS

Drawing Number:
C-4

Sheet **4** of **8**

Project Number:
20207.0

Survey Index:
13 - 115 - 33



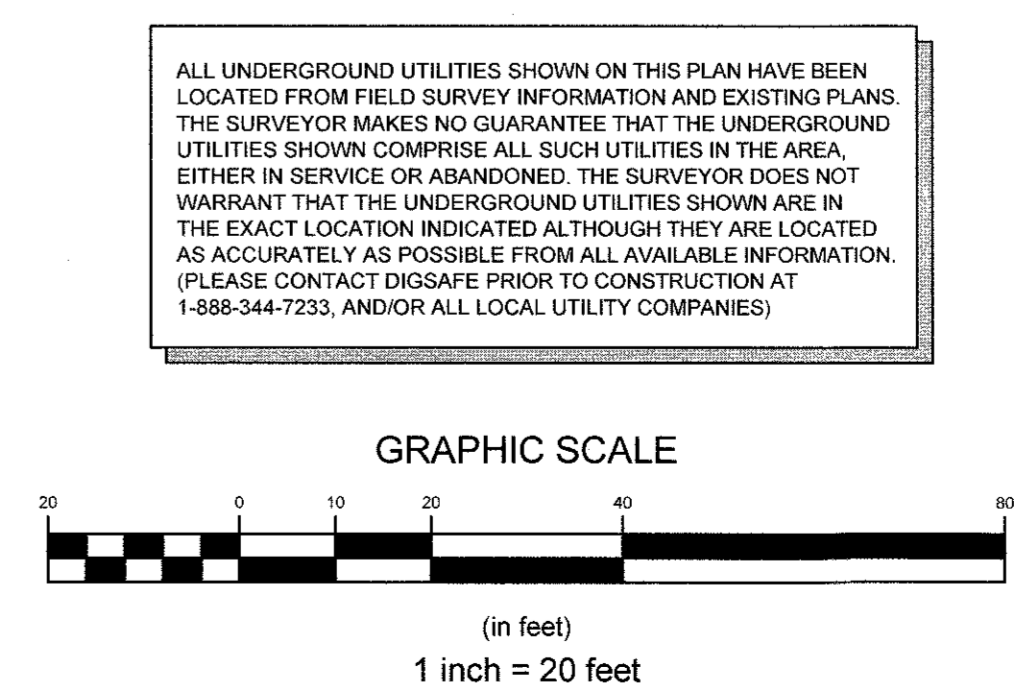
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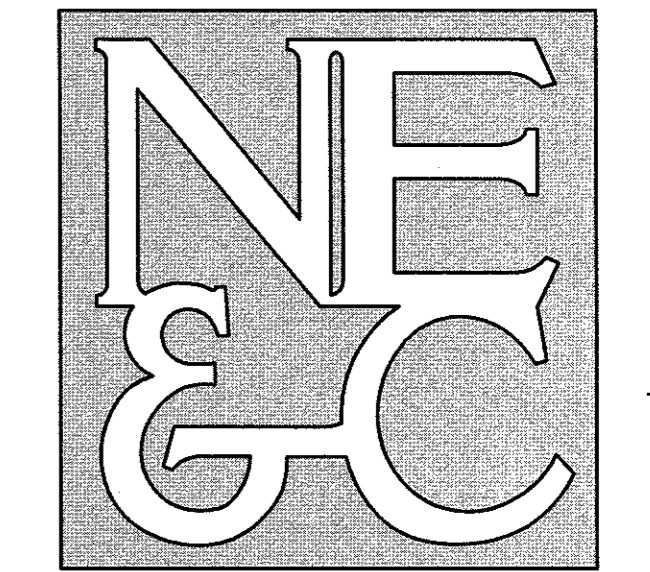
ZONING DATA - OP (OFFICE PARK) - ANY PERMITTED USE

	REQUIRED	PROPOSED
MINIMUM LOT SIZE	40,000 SF	87,463 SF
MINIMUM LOT WIDTH	150 FT	174.33 FT
MAXIMUM LOT COVERAGE	35%	29.4%
MAXIMUM BUILDING HEIGHT	TBD	TBD
PRINCIPLE ACCESSORY	40 FT	TBD
MINIMUM YARD SETBACK	20 FT	TBD
FRONT	10 FT	10 FT / 90 FT
SIDE	35 FT	56 FT / 56 FT
REAR	40 FT	N/A
ACCESSORY SIDE	25 FT	25 FT
ACCESSORY REAR	10 FT	N/A

LEGEND

---	PROPERTY LINE	---	BUILDING SETBACK
---	ABUTTERS PROPERTY LINE	---	PROPOSED TOPOGRAPHIC CONTOUR
---	EXISTING CONTOUR LINE	---	PROPOSED SPOT ELEVATION
---	EXISTING BRUSH LINE	---	PROPOSED SWALE
---	EXISTING STONE WALL	---	PROPOSED WATER SERVICE
---	EXISTING SEWER LINE	---	PROPOSED GAS SERVICE
---	EXISTING GAS LINE	---	PROPOSED 6" SEWER SERVICE
---	EXISTING WATER LINE	---	PROPOSED DRAIN LINE
---	EXISTING DRAIN LINE	---	PROPOSED DRAIN BASIN OR TRASH RACK
---	WATER GATE VALVE	---	PROPOSED DRAIN INLET
---	HYDRANT	---	PROPOSED SEWER MANHOLE OR CLEANOUT
---	CATCH BASIN		
---	DRAIN MANHOLE		
---	SEWER MANHOLE		
---	SOIL EVALUATION LOCATION		



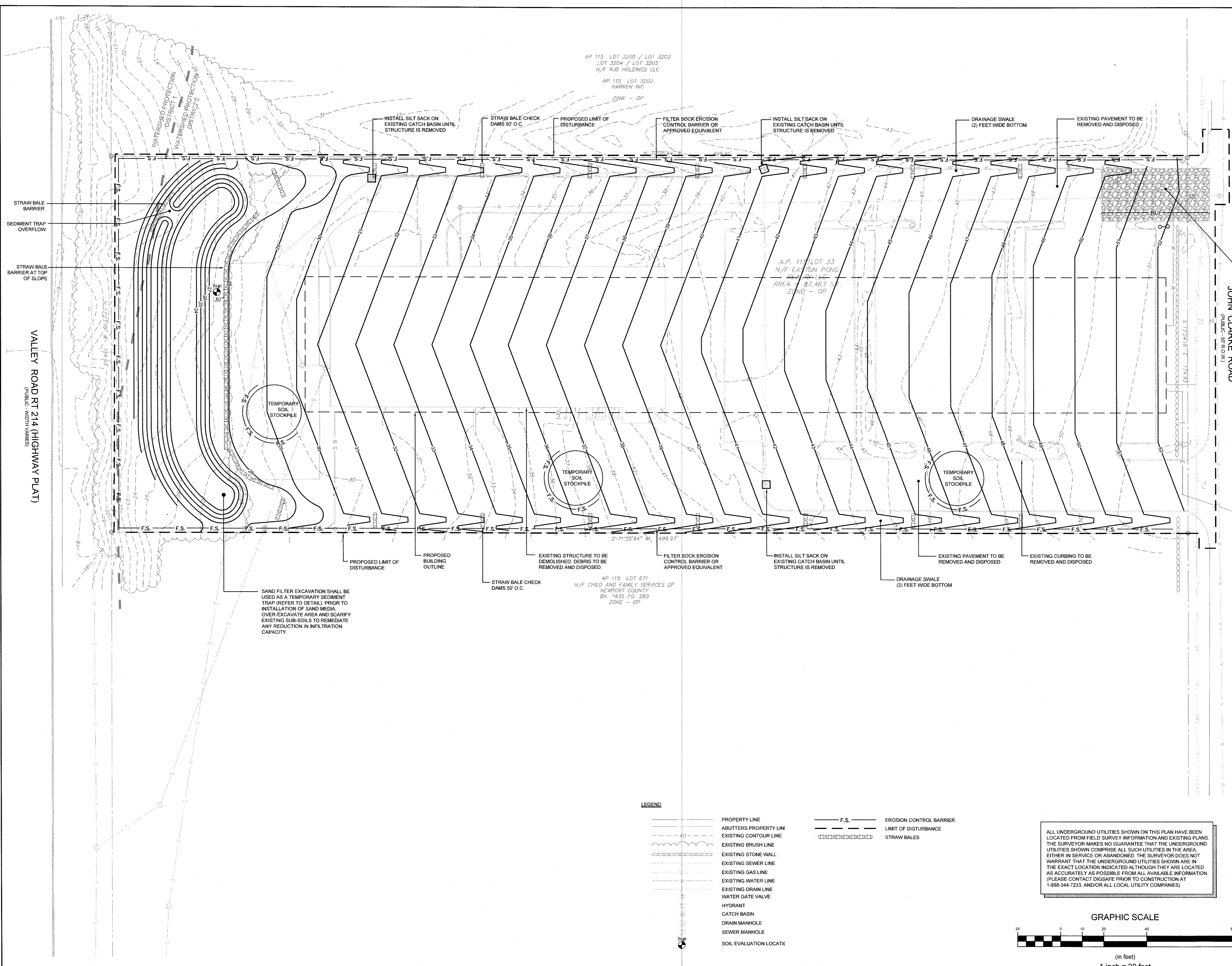
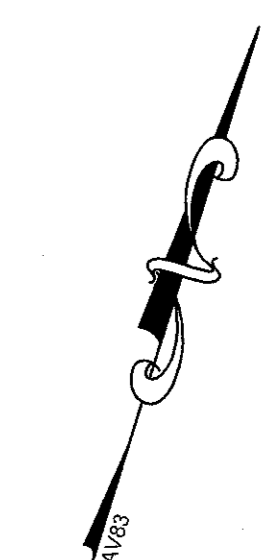


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AP 115 LOT 50
N/F LANDPOINT, LLC
VOLUME 997, PAGE 243
ZONE - OP

STABILIZED
CONSTRUCTION
ENTRANCE SEE
DETAIL



2	TOWN SUBMISSION	16JUN21	
1	RIDEM & RIDOT REVISIONS	20APR21	
No.	Revision	Date	App.
Designed by:	JJR	Drawn by:	JJR
Scale:	1"=20'	Checked by:	GES
Date:	20JAN21		

Project Title:
A.P. 115 LOT 33
55 JOHN CLARKE ROAD
MIDDLETOWN
RHODE ISLAND

Client/Owner:
EASTON POND REALTY, LLC

Issued for:
PERMITTING

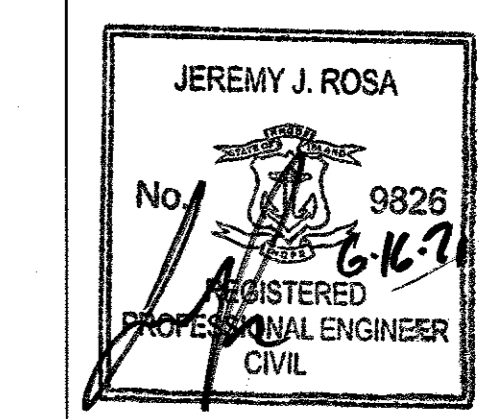
Drawing Title:
**SOIL EROSION AND
SEDIMENT CONTROL**
(SHOWING CONSTRUCTION GRADING)

Drawing Number:
C-5

Sheet **5** of **8**

Project Number:
20207.0

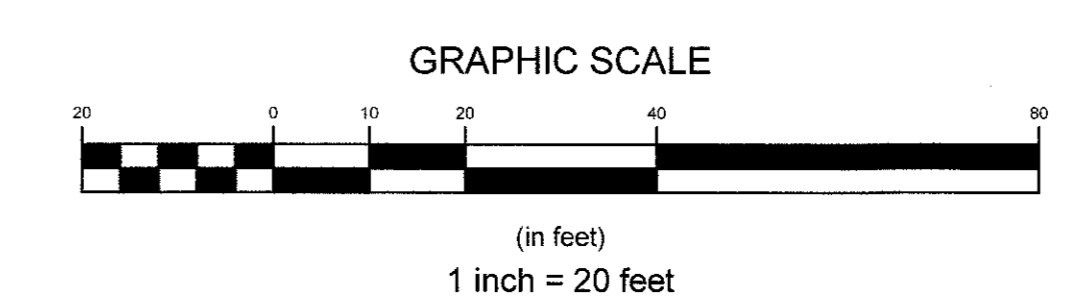
Survey Index:
13 - 115 - 33

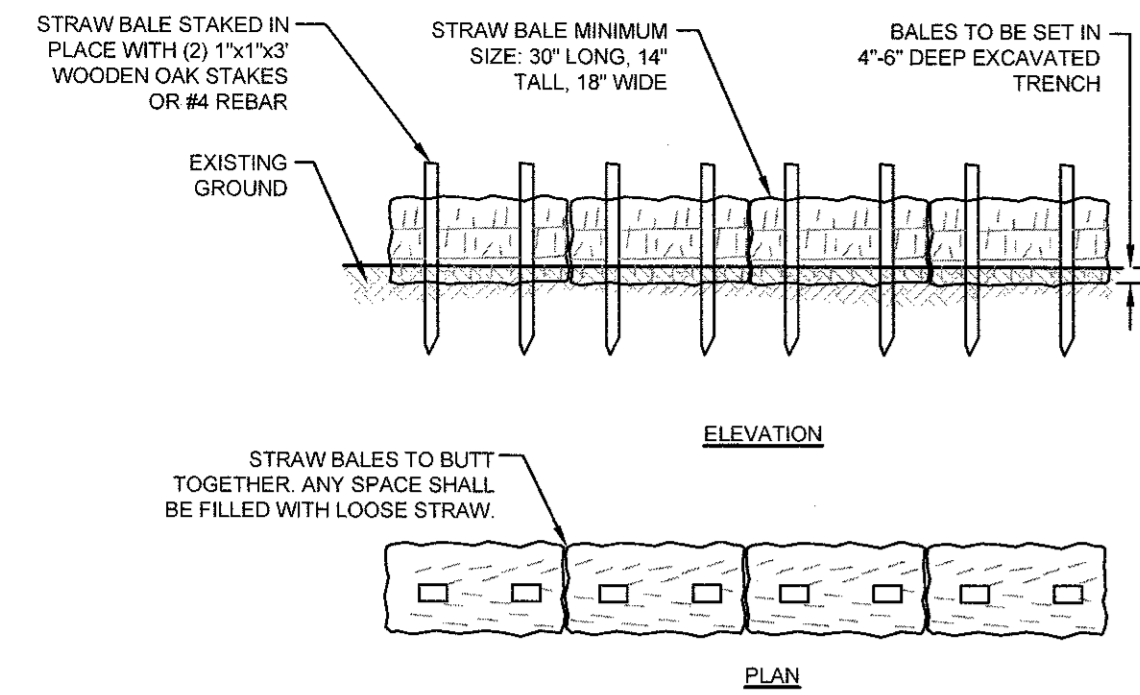


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- LEGEND**
- PROPERTY LINE
 - - - ABUTTERS PROPERTY LINE
 - - - EXISTING CONTOUR LINE
 - - - EXISTING BRUSH LINE
 - - - EXISTING STONE WALL
 - - - EXISTING SEWER LINE
 - - - EXISTING GAS LINE
 - - - EXISTING WATER LINE
 - - - EXISTING DRAIN LINE
 - - - WATER GATE VALVE
 - - - HYDRANT
 - - - CATCH BASIN
 - - - DRAIN MANHOLE
 - - - SEWER MANHOLE
 - - - SOIL EVALUATION LOCATK
 - - - F.S. - EROSION CONTROL BARRIER
 - - - LIMIT OF DISTURBANCE
 - - - STRAW BALES

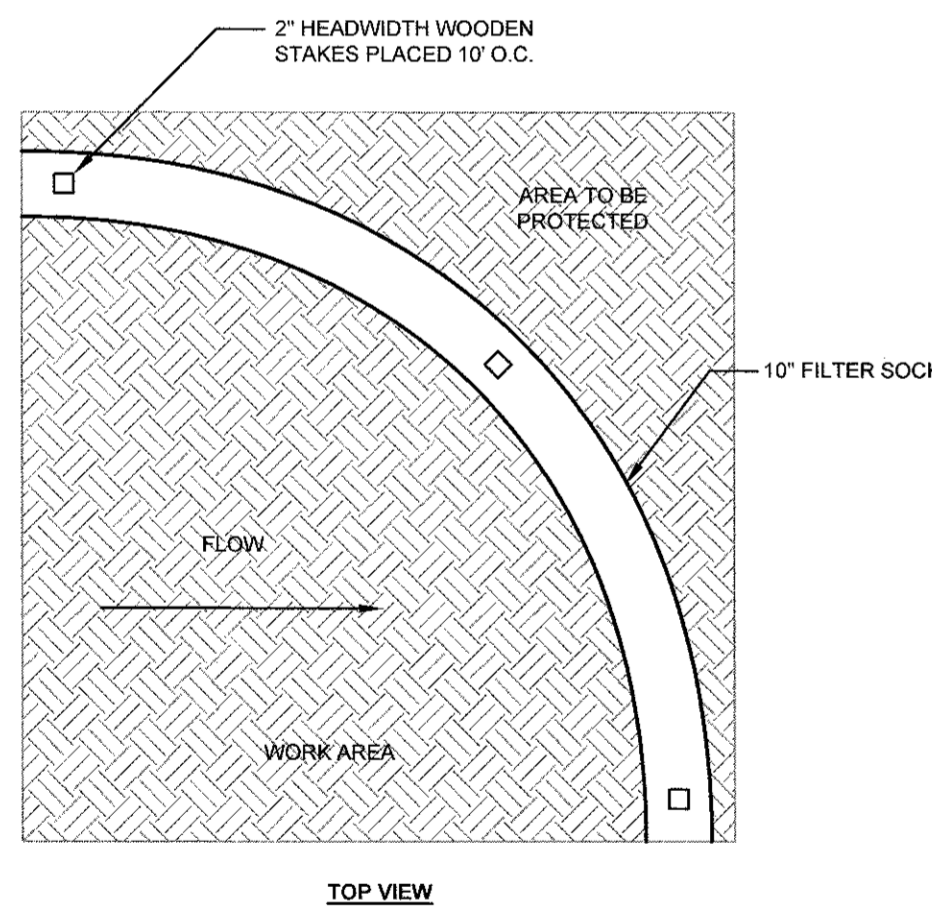
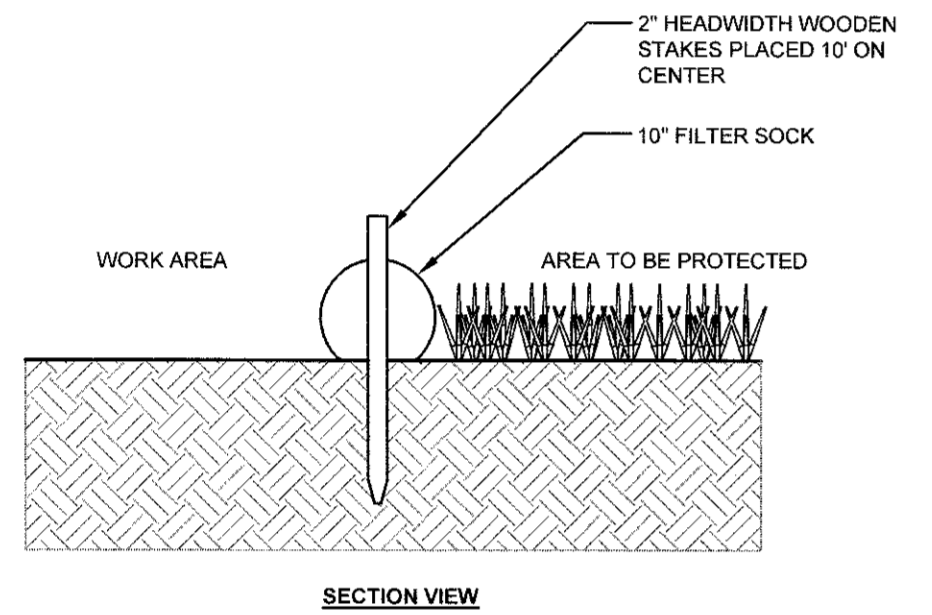
ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)



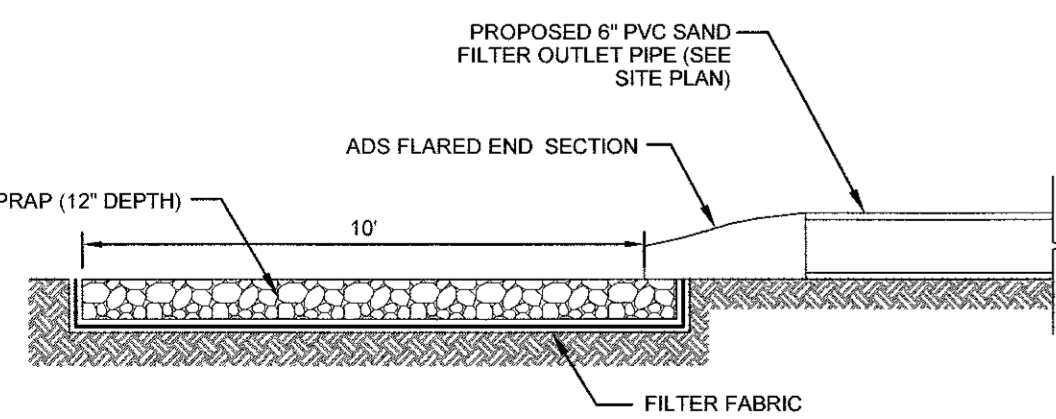


- NOTES:**
1. BALE WEIGHT SHALL NOT BE LESS THAN 50 LBS AND SHALL BE BOUND WITH NO LESS THAN TWO STRINGS OR WIRES CONTAINING A MINIMUM OF FIVE (5) CUBIC FEET OF MATERIAL. MINIMUM DIMENSIONS SHOWN IN DETAIL.
 2. STRAW BALES SHALL BE CERTIFIED AS BEING NOXIOUS WEED-FREE BALES. TO BE "CERTIFIED" MEANS THAT THE PRODUCT IS FREE OF ANY NOXIOUS WEEDS.
 3. STAKES SHALL BE DRIVEN THROUGH STAKES AT A SLIGHT UPSTREAM ANGLE TO PREVENT BALE FROM OVERTURNING.
 4. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES AFTER INSTALLATION.
 5. MATERIAL EXCAVATED FROM TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED.

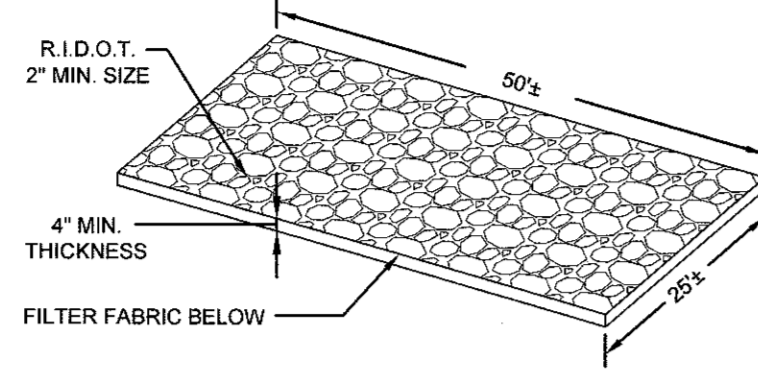
BALED STRAW EROSION CONTROL BARRIER
SCALE: NOT TO SCALE



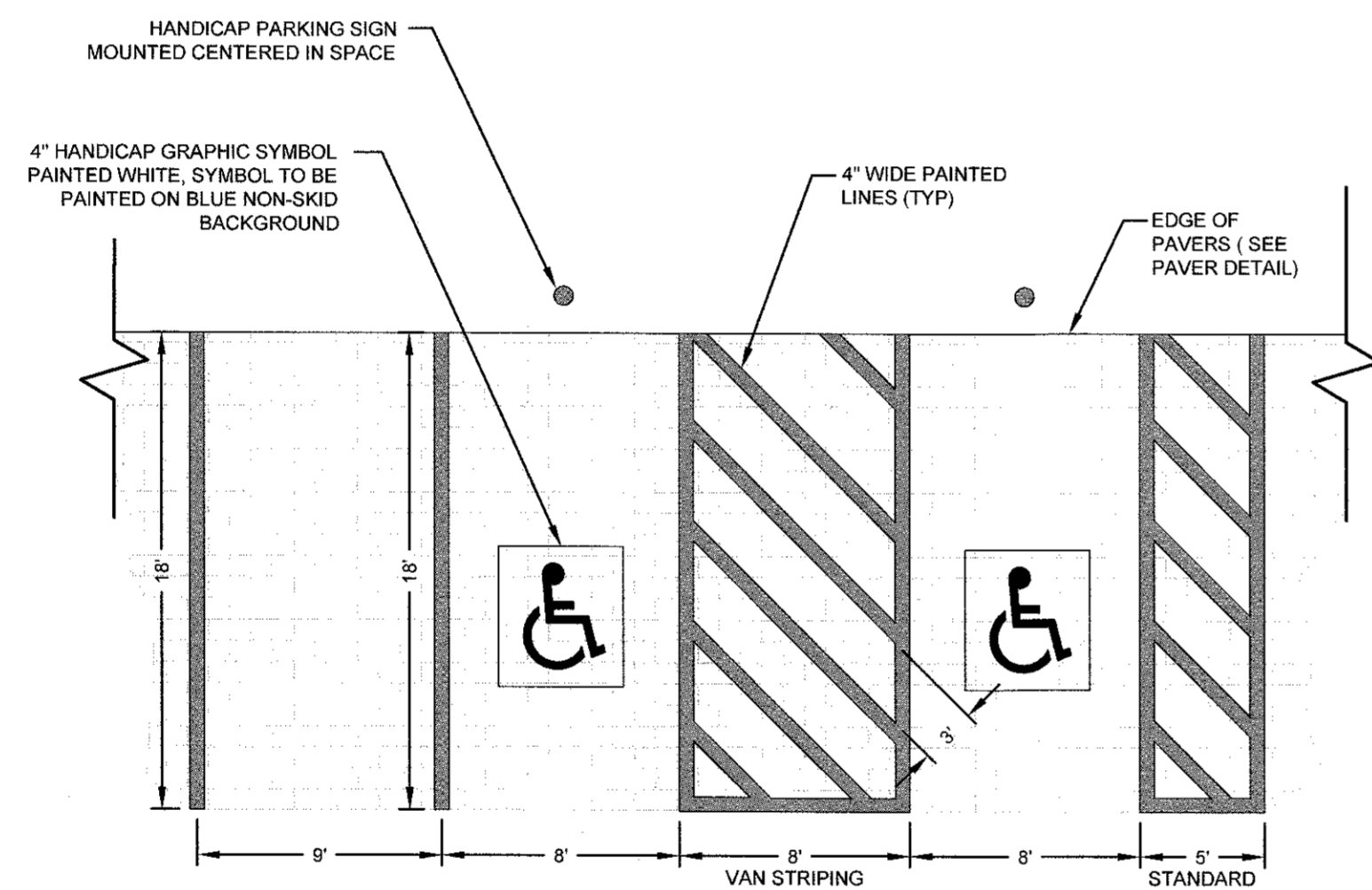
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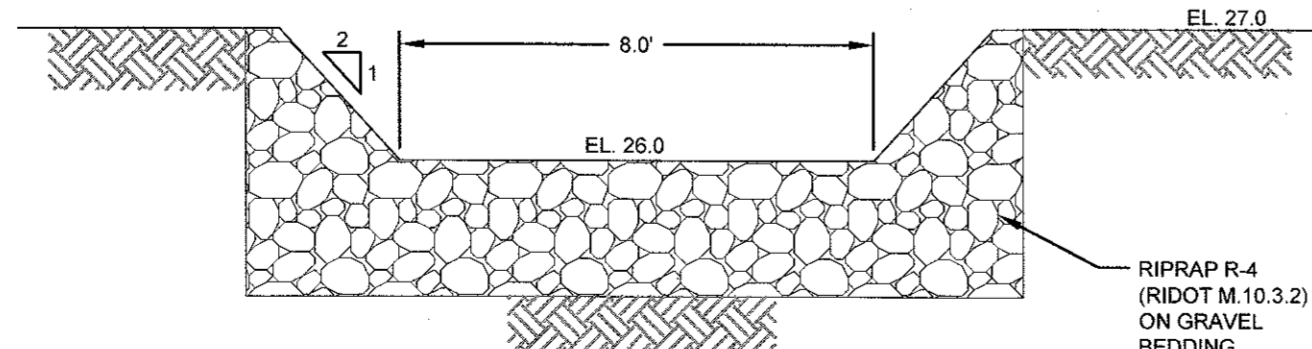
SAND FILTER OUTLET PIPE PROTECTION
SCALE: NOT TO SCALE



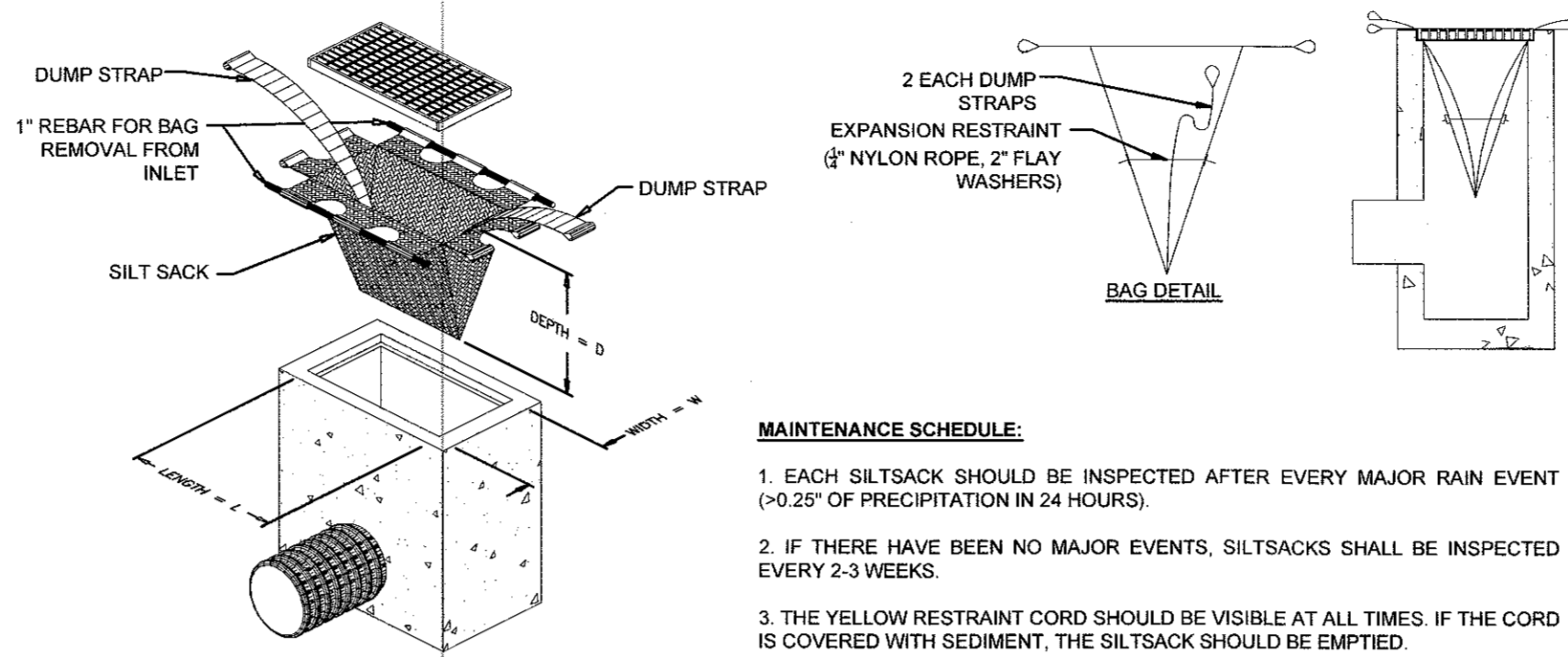
CONSTRUCTION ENTRANCE
SCALE: NOT TO SCALE



PARKING STALL STRIPING
SCALE: NOT TO SCALE

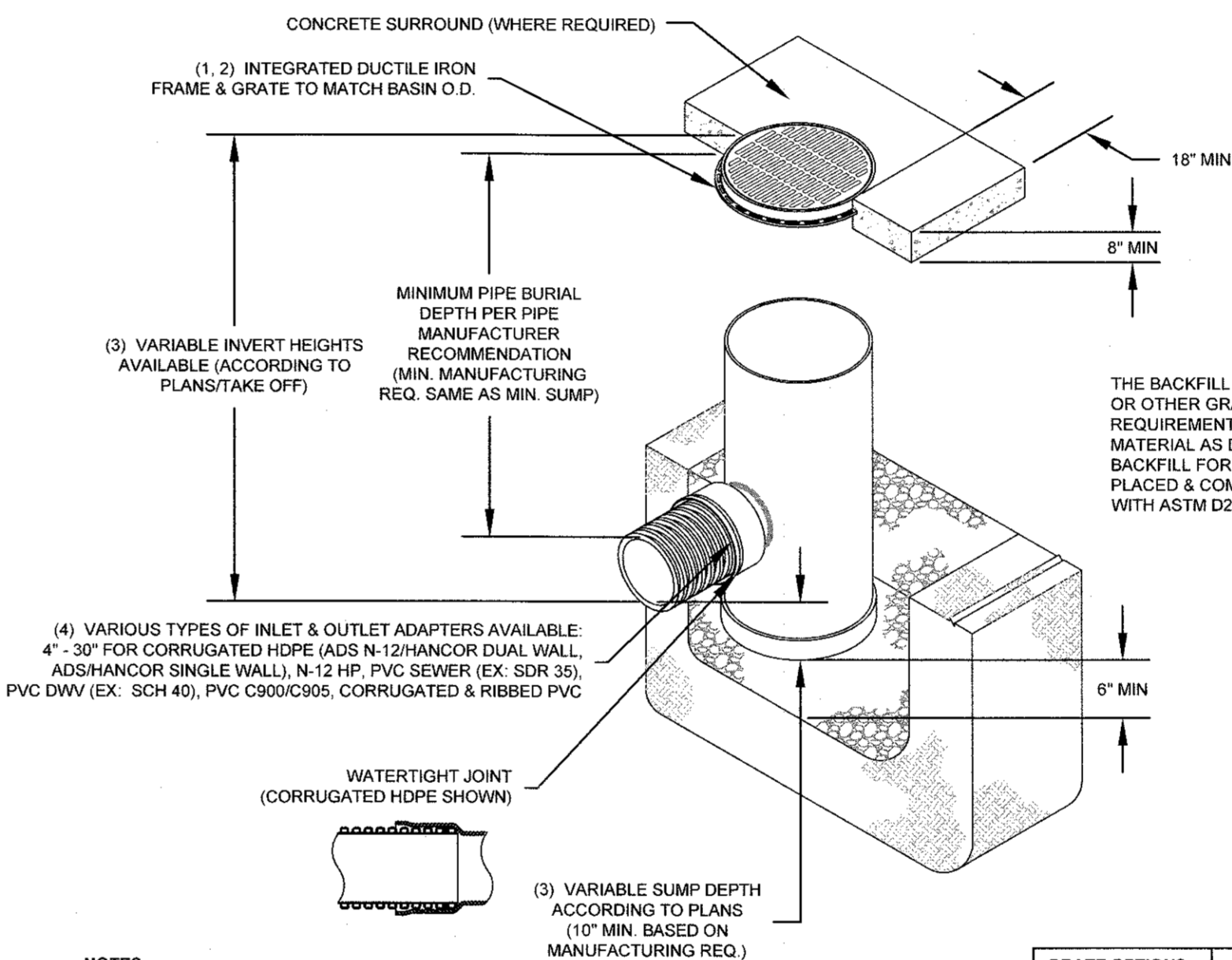


STONE WEIR DETAIL
SCALE: NOT TO SCALE



SILT SACK DETAIL
SCALE: NOT TO SCALE

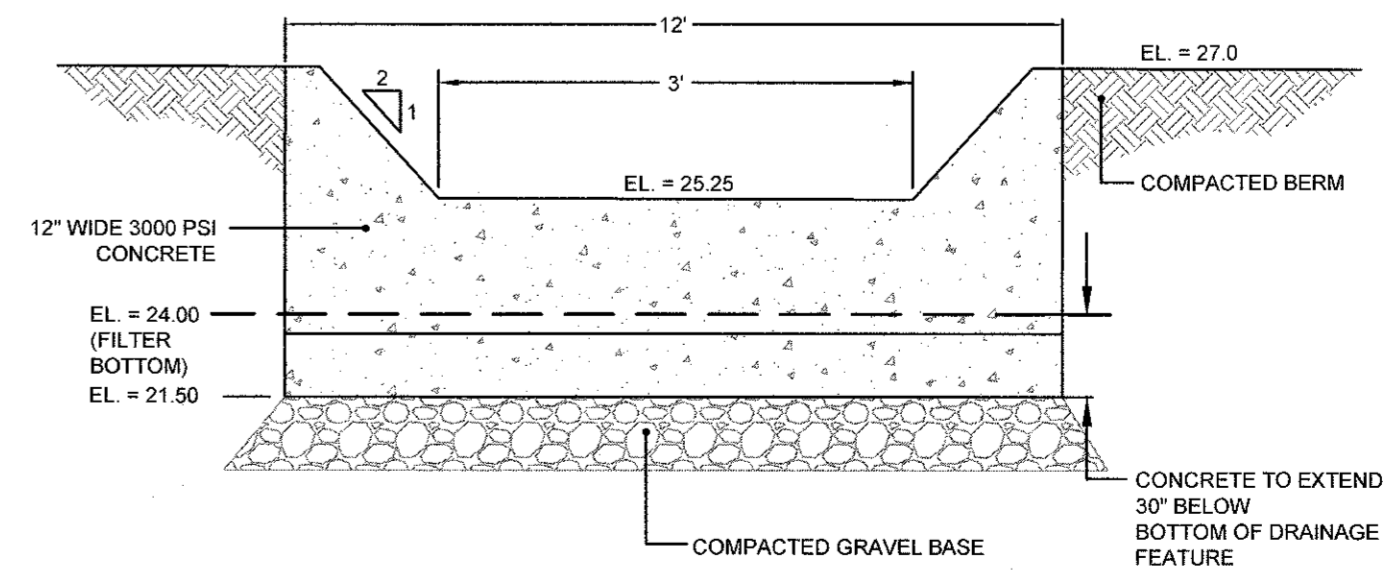
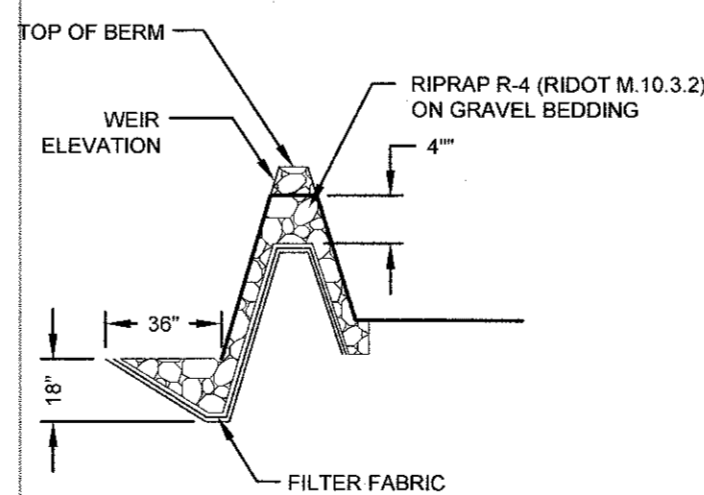
- MAINTENANCE SCHEDULE:**
1. EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT (>0.25\"/>



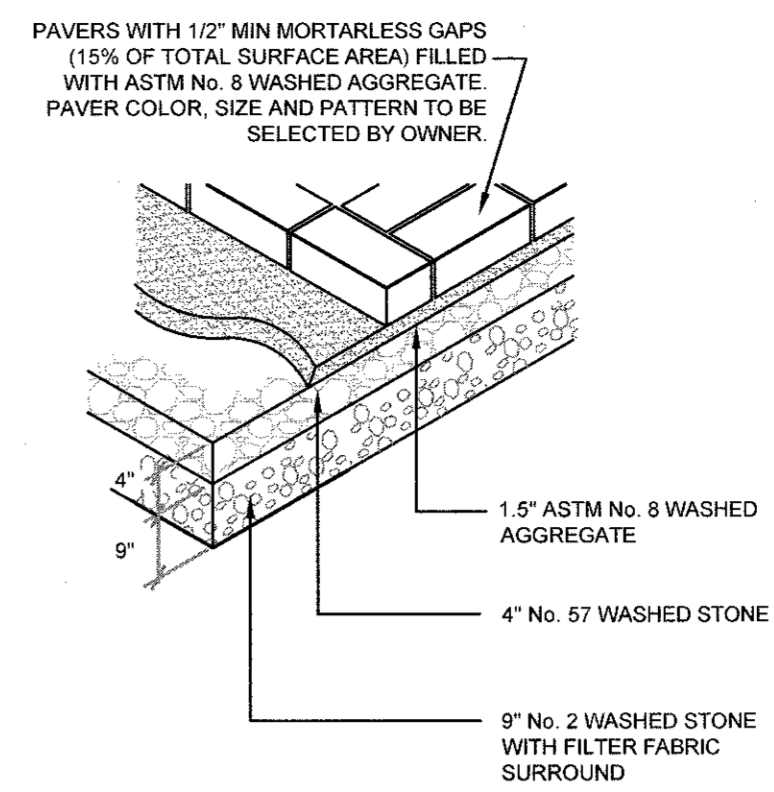
- NOTES:**
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8\"/>

GRATE OPTIONS	LOAD RATING
PEDESTRIAN	H-20
STANDARD	H-20
SOLID COVER	H-20
DOMES	N/A

ADS DRAIN BASIN DETAIL (W/ CONCRETE SURROUND)
SCALE: NOT TO SCALE



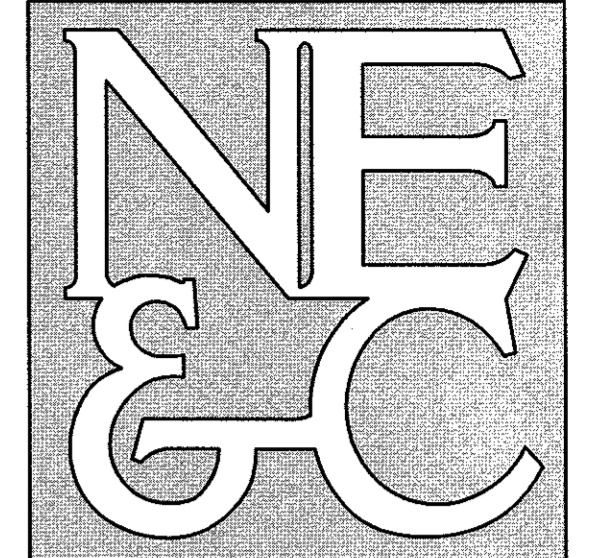
SAND FILTER WEIR DETAIL
SCALE: NOT TO SCALE



NOTE: PAVES VOID MATERIAL SHALL BE COMPACTED WITH A MINIMUM 5,000 LB. PLATE COMPACTOR.

TYPICAL PERVIOUS PAVER SECTION
SCALE: NOT TO SCALE

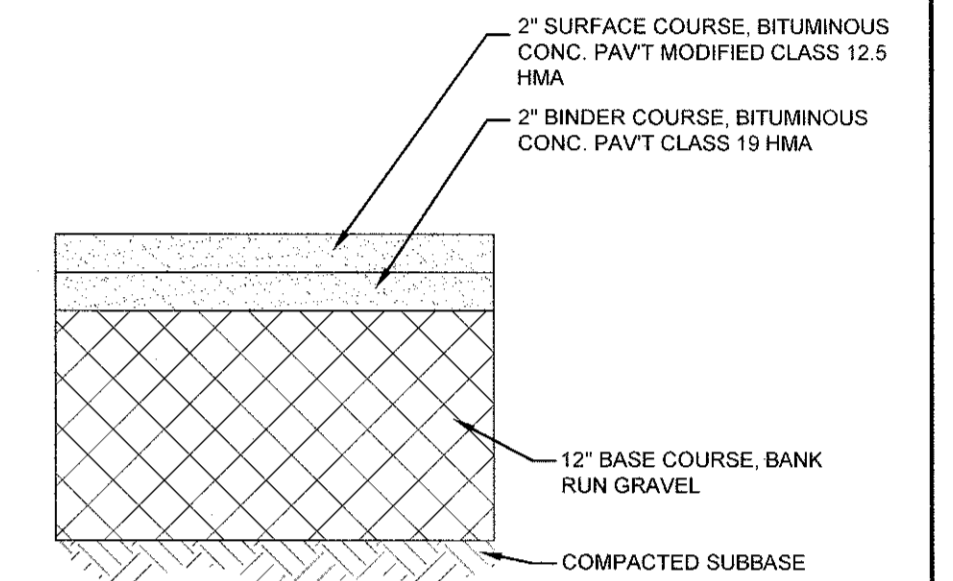
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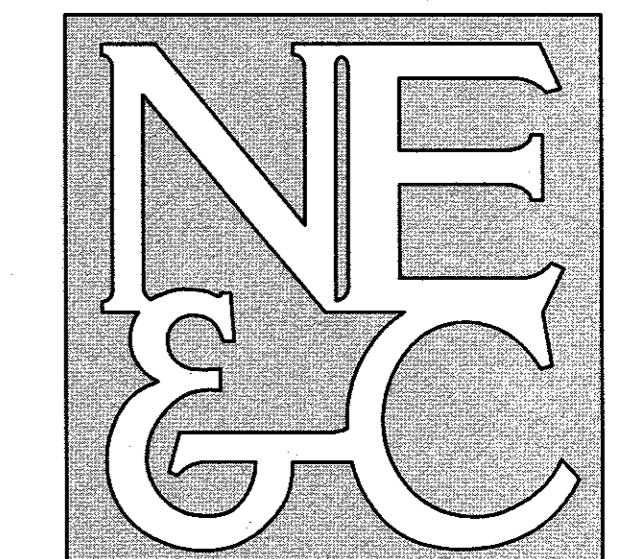
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TYPICAL BITUMINOUS PAVEMENT SECTION
SCALE: NOT TO SCALE

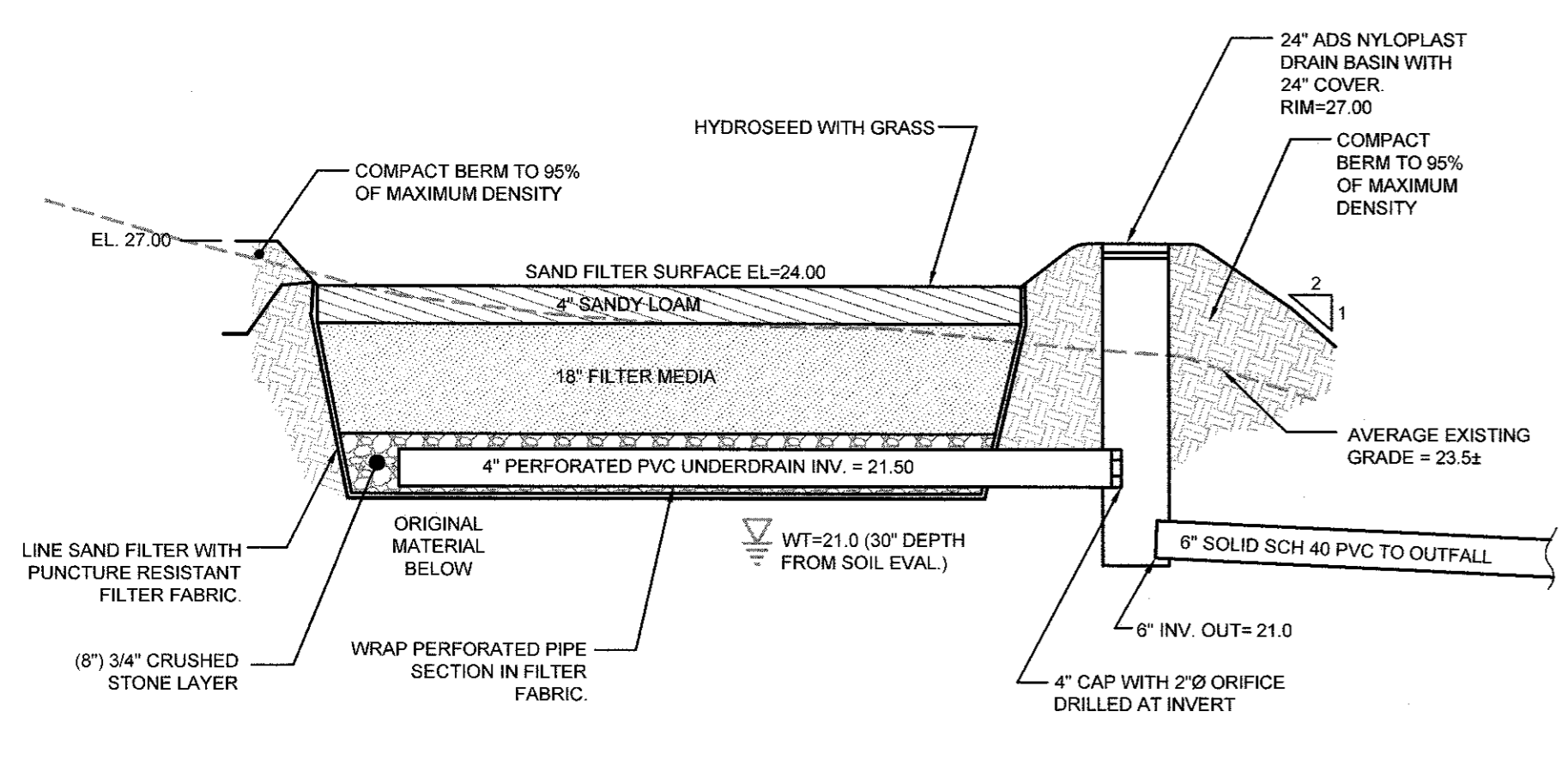
2	TOWN SUBMISSION	16JUN21	
1	RIDEM & RIDOT REVISIONS	20APR21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	AS SHOWN	Date:	19JAN21
Checked by:	GES	Project Title:	
A.P. 115 LOT 33 55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND			
Client/Owner:			
EASTON POND REALTY, LLC			
Issued for:			
PERMITTING			
Drawing Title:			
DETAIL SHEET 1			
Drawing Number:		C-6	
Sheet		6 of 8	
Project Number:		20207.0	
Survey Index:		13 - 115 - 33	
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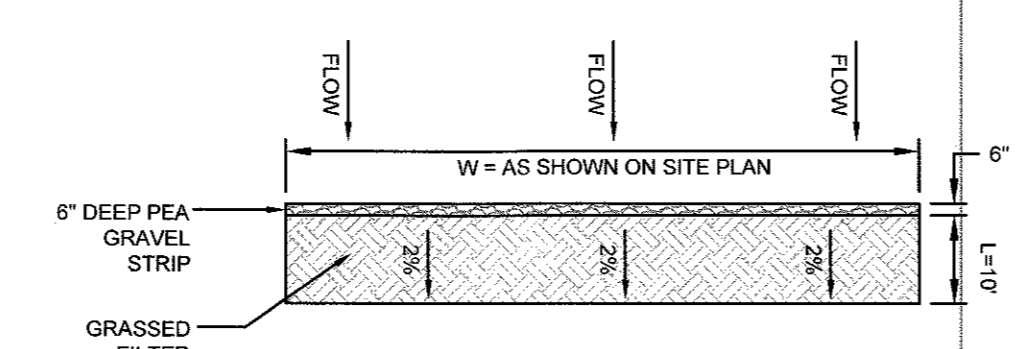
SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL



SAND FILTER NOTES:

- SAND FILTER SHALL BE PLANTED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
- SAND FILTER SAND TO BE CLEAN AASHTO M-6 OR ASTM C-33 CONCRETE SAND (0.075 TO 0.04") SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO ROCK DUST CAN BE USED AS SAND.
- UNDERDRAIN STONE SHALL BE 3/4" WASHED CRUSHED STONE.
- UNDERDRAIN SHALL BE SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D-1785 OR AASHTO M-278. PERFORATIONS SHALL BE 3/8" @ 6" ON CENTER. PIPE SHALL HAVE 3" OF GRAVEL OVER PIPE. PIPE TO BE WRAPPED IN GEOTEXTILE FILTER FABRIC.

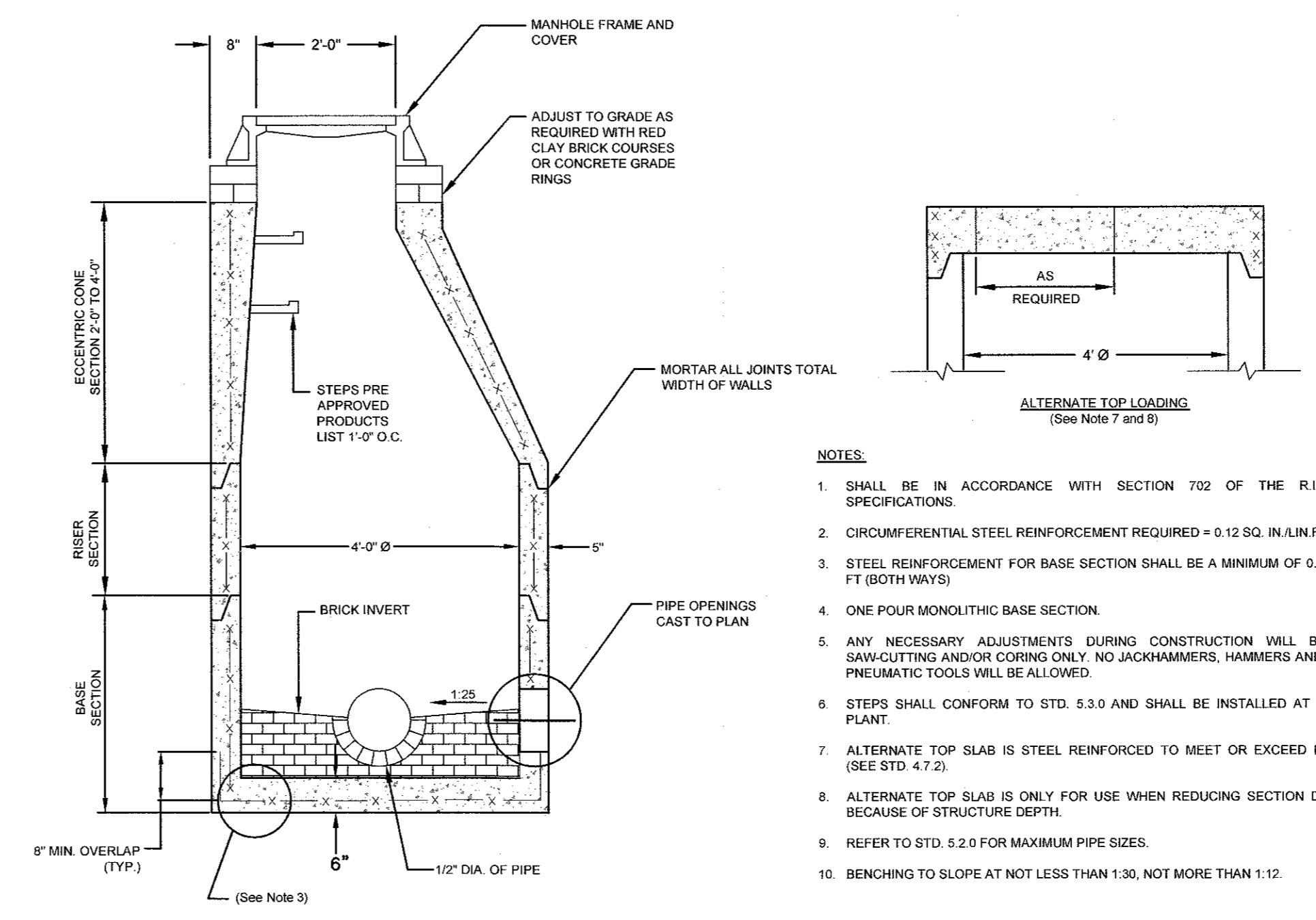
SAND FILTER CROSS SECTION
SCALE: NOT TO SCALE



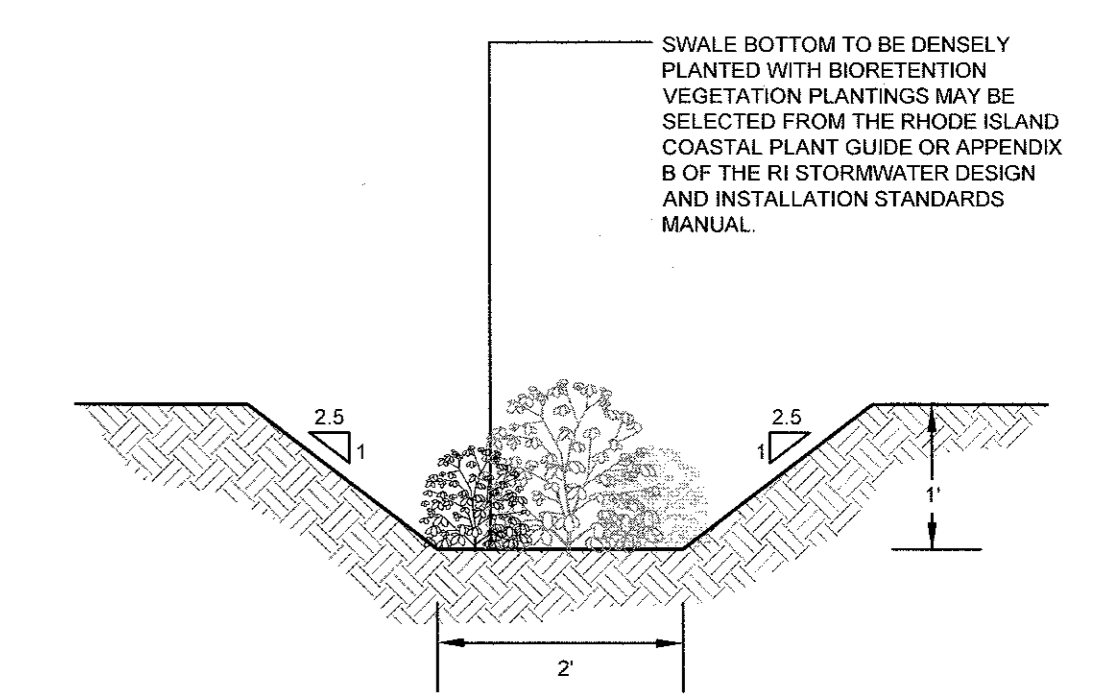
FILTER STRIP NOTES:

- ENTIRETY OF FILTER SURFACE SHALL BE PLANTED WITH KENTUCKY BLUEGRASS OR OTHER WATER TOLERANT SPECIES MIX.
- IF GRASS DOES NOT ESTABLISH PROPERLY, REPLACE WITH AN ALTERNATE SPECIES. CONSULT A REGISTERED LANDSCAPE ARCHITECT IF NECESSARY.
- BOTH THE TOP AND TOE OF THE FILTER SURFACE SHOULD BE GRADED AS FLAT AS POSSIBLE TO ENCOURAGE SHEET FLOW AND PREVENT EROSION.
- FILTER STRIP AREA MUST BE PROTECTED BY EROSION CONTROL MEASURES AS SHOWN ON THE SESC PLAN DURING ALL PHASES OF CONSTRUCTION. THESE MEASURES MUST BE PROPERLY MAINTAINED UNTIL FINAL SITE STABILIZATION AND SUBSEQUENT REMOVAL OF ALL TRAPPED SEDIMENTS HAS OCCURRED.

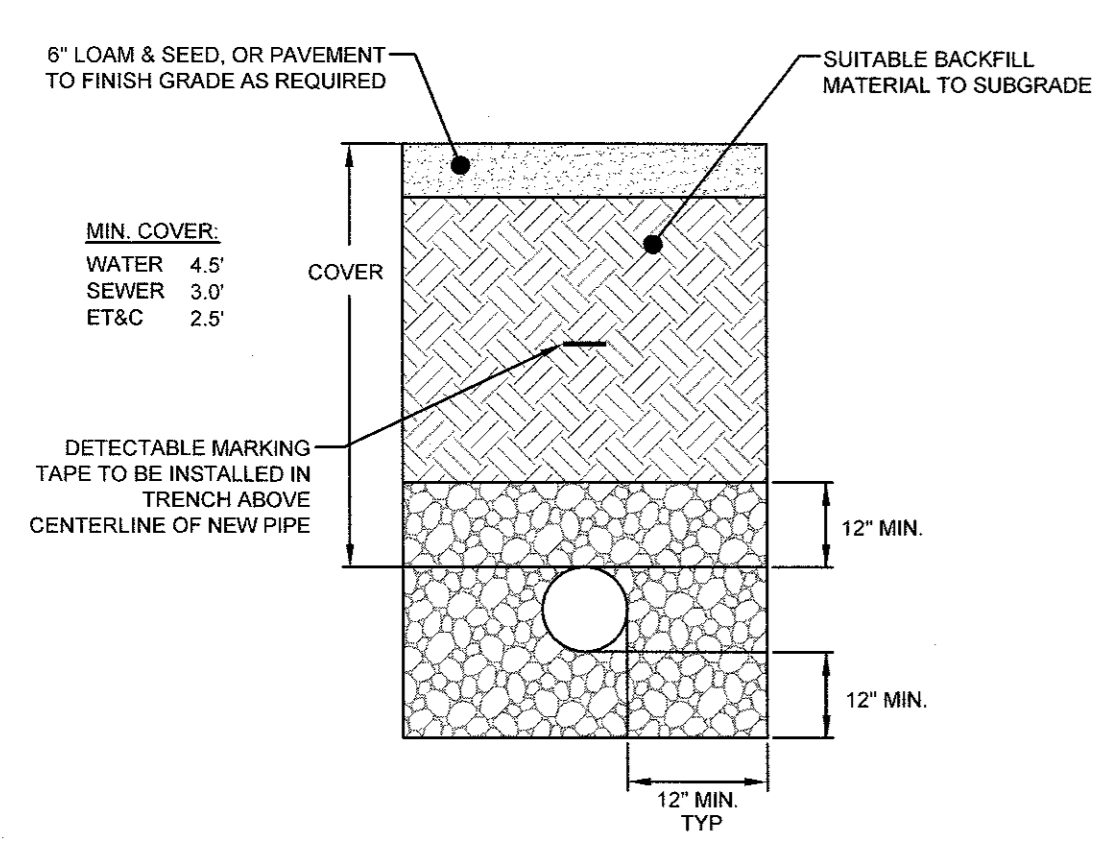
GRASSED FILTER STRIP DETAIL
SCALE: NOT TO SCALE



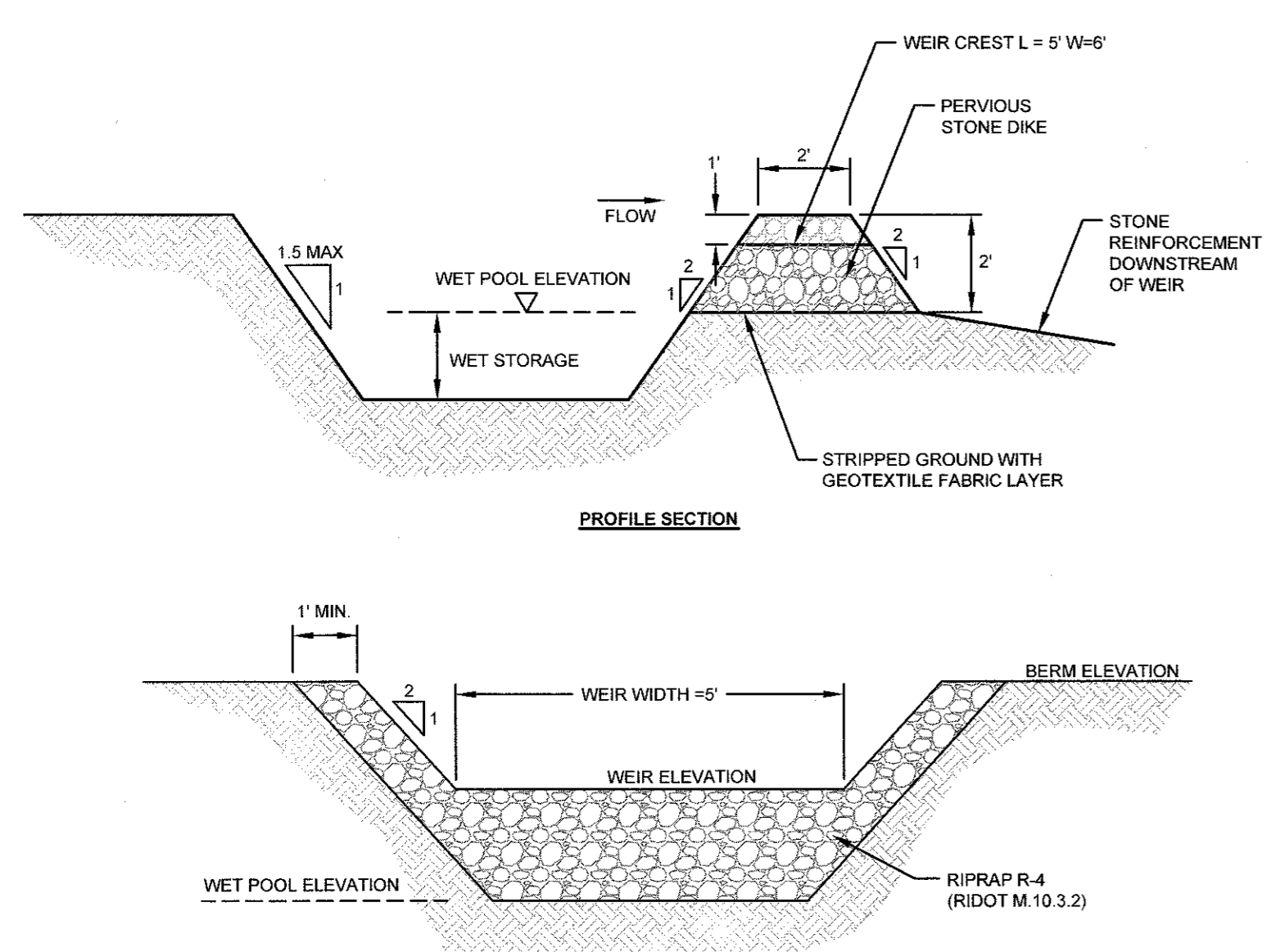
PRECAST SEWER MANHOLE DETAIL (RIDOT 4.2.0)
SCALE: NOT TO SCALE



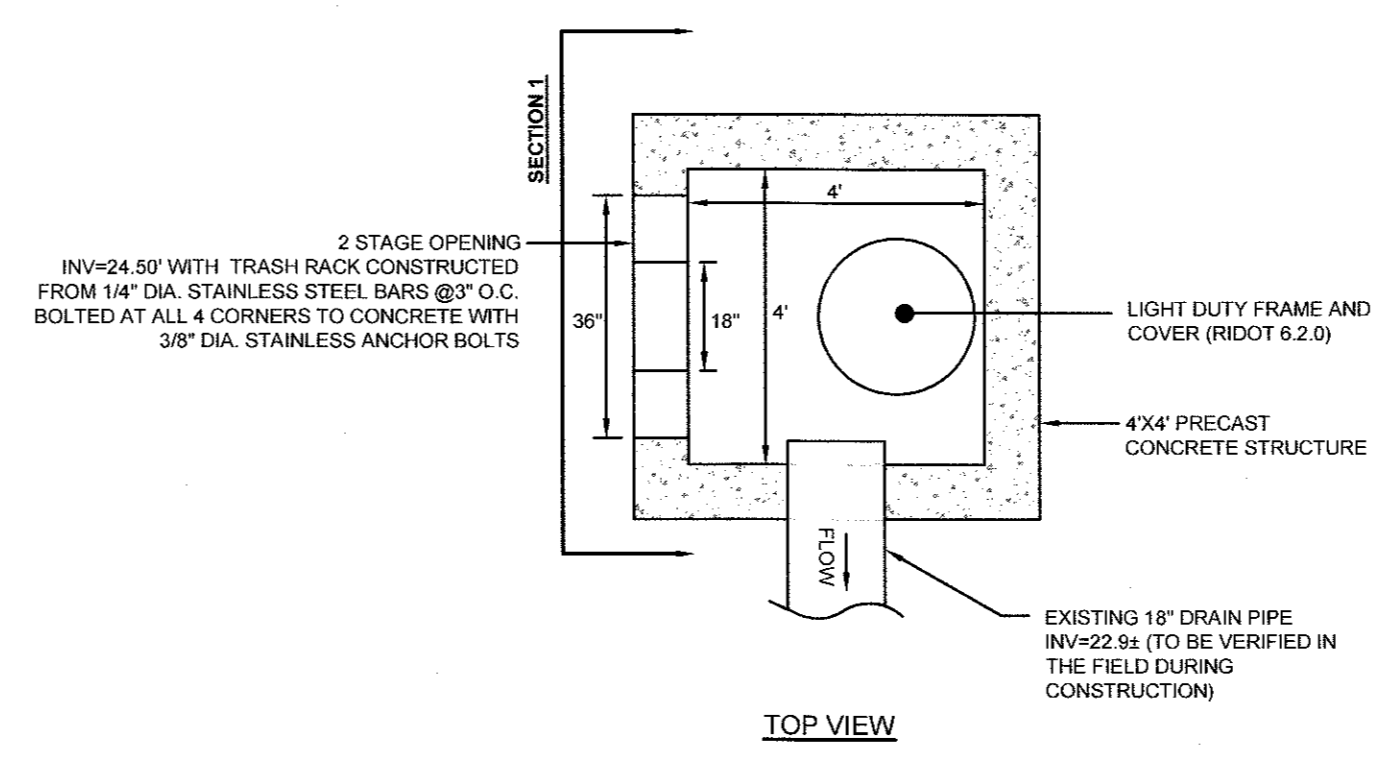
VEGETATED SWALE CROSS SECTION
SCALE: NOT TO SCALE



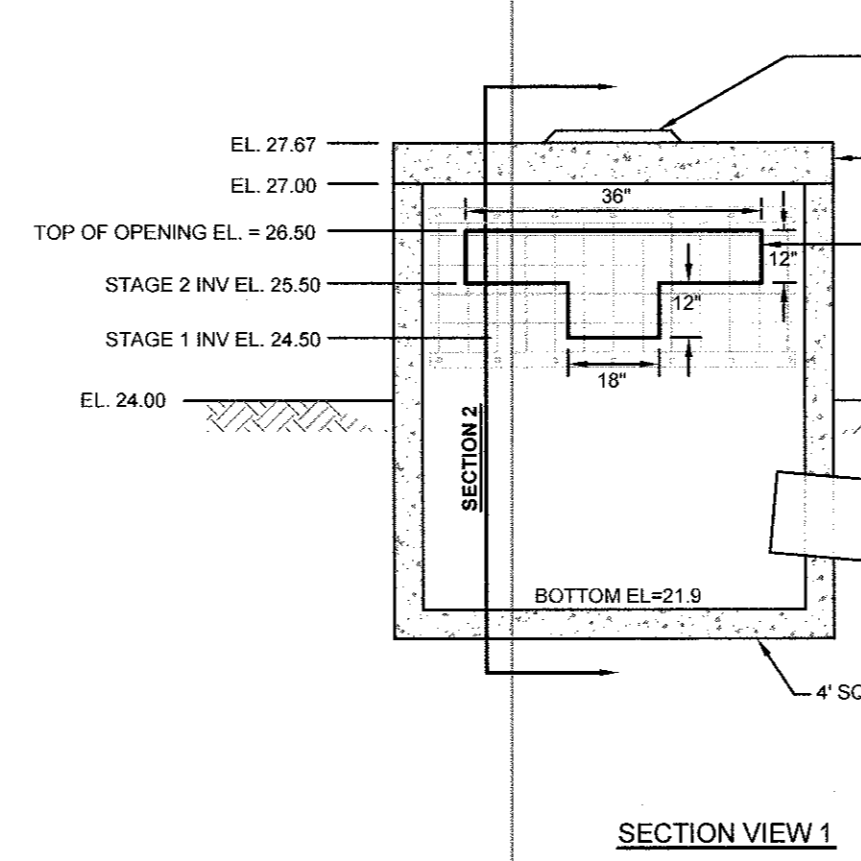
UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE



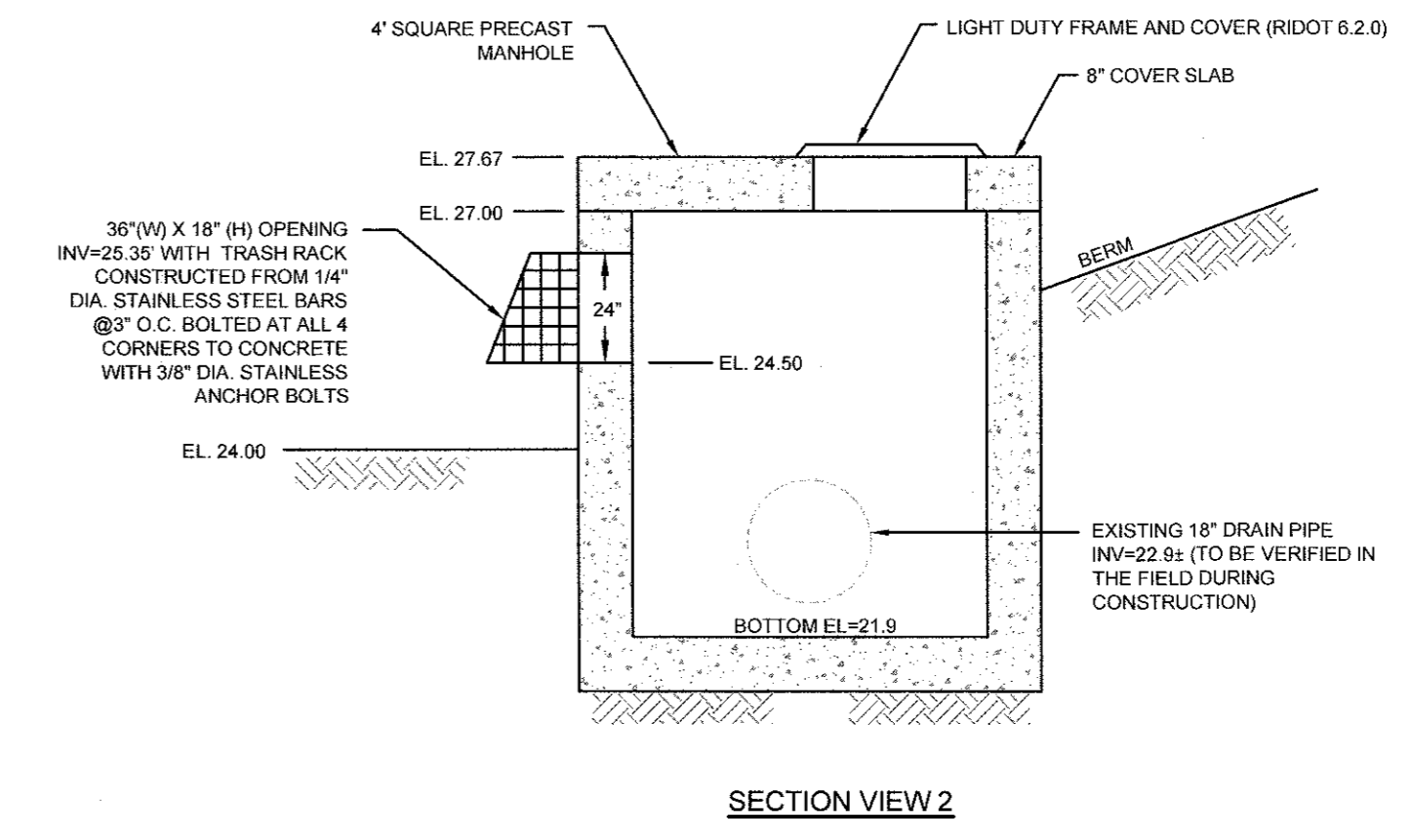
TYPICAL SEDIMENT TRAP DETAILS
SCALE: NOT TO SCALE



TOP VIEW



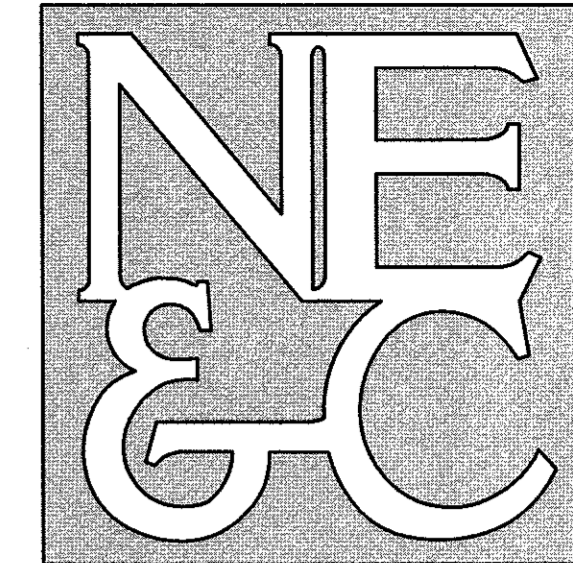
SECTION VIEW 1



SECTION VIEW 2

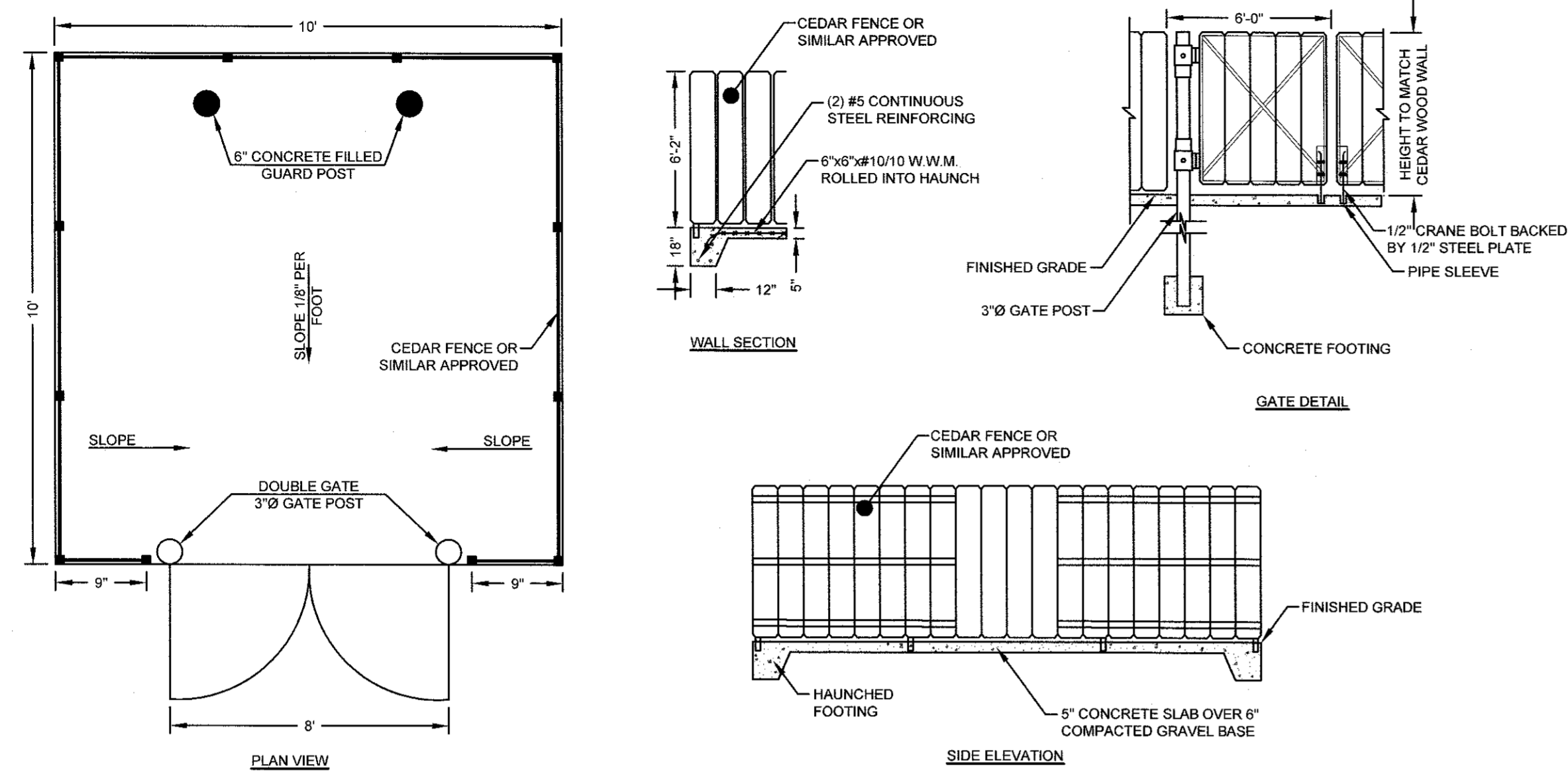
SAND FILTER OVERFLOW STRUCTURE TO EXISTING PIPE
SCALE: NOT TO SCALE

2	TOWN SUBMISSION	16JUN21	
1	RIDEM & RIDOT REVISIONS	20APR21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	AS SHOWN	Date:	19JAN21
Checked by:	GES		
Project Title:			
A.P. 115 LOT 33 55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND			
Client/Owner:			
EASTON POND REALTY, LLC			
Issued for:			
PERMITTING			
Drawing Title:			
DETAIL SHEET 2			
Drawing Number:		C-7	
Sheet		7 of 8	
Project Number:		20207.0	
Survey Index:		13 - 115 - 33	
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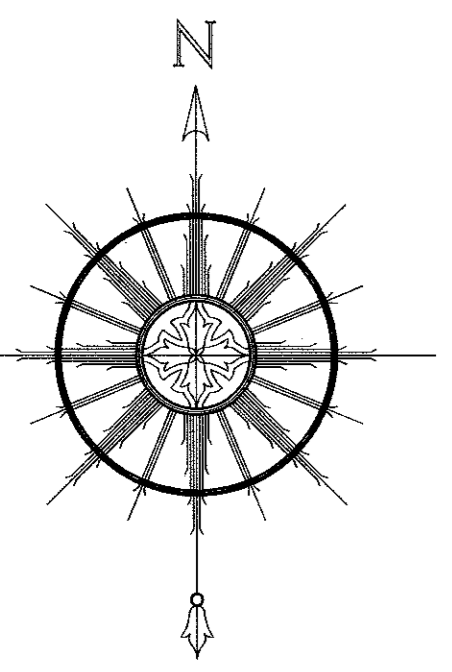
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TYPICAL TRASH ENCLOSURE

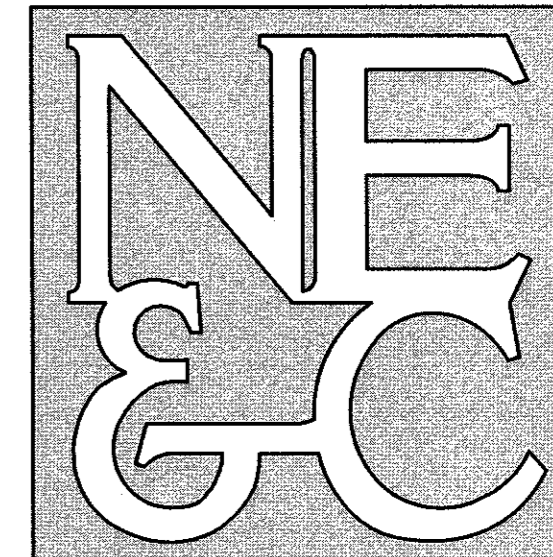
ARCHITECT MAY PROVIDE ALTERNATE DESIGN
SCALE: NOT TO SCALE

1	TOWN SUBMISSION	18JUN21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	AS SHOWN	Date:	16JUN21
Checked by:	GES		
Project Title:			
A.P. 115 LOT 33 55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND			
Client/Owner:			
EASTON POND REALTY, LLC			
Issued for:			
PERMITTING			
Drawing Title:			
DETAIL SHEET 3			
Drawing Number:		C-8	
Sheet		8 of 8	
Project Number:		20207.0	
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<small>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</small>			



SEE GENERAL NOTES #3

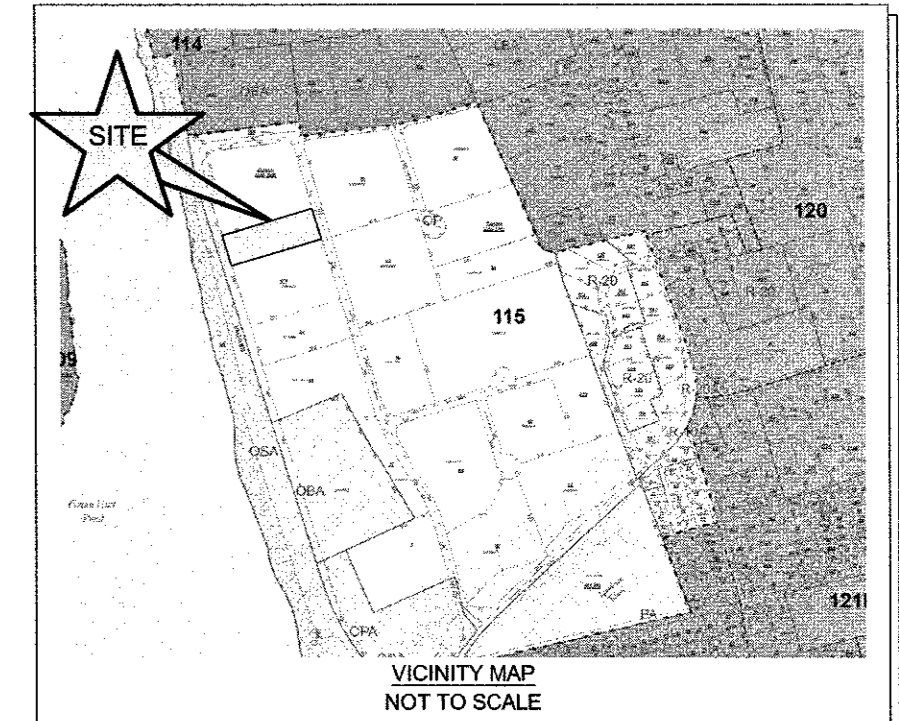
NORTHEAST ENGINEERS & CONSULTANTS, INC.



SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL
MATERIALS TESTING

A KNOWLEDGE CORPORATION®

55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM



GRANITE STONE BOUND FOUND
N72°37'13"E
0.33'

A.P. 115, LOT 32
N/F RJD HOLDINGS LLC
BK.1077 PG.271

BENCHMARK SPIKE SET
NAVD88 DATUM
ELEV.=46.69'

A.P. 115 LOT 33
N/F EASTON POND REALTY LLC
AREA = 87,455 S.F.(2.00 ACRES)
BK 965 PG 265

BENCHMARK CENTER OF SEWER MANHOLE
NAVD88 DATUM
ELEV.=51.73'

A.P. 115, LOT 50
N/F LANDPOINT LLC
BK.977 PG.243

IRON ROD W/ CAP FOUND,
N03°45'17"E 0.40'
FROM CORNER

IRON ROD FOUND
N24°35'19"E
0.22' FROM CORNER

VALLEY ROAD RT. 214 (HIGHWAY PLAT #1488)

#55 COMMERCIAL BUILDING
BLDG. COVERAGE = 12%
FOOTPRINT = 10,300± SF
2 STORY BRICK / MASONRY

BENCHMARK SPIKE SET
NAVD88 DATUM
ELEV.=46.69'

IRON ROD FOUND
N18°35'12"E
0.30' FROM CORNER

A.P. 115, LOT 43
N/F BROOKWOOD MIDDLETOWN
TECH LLC
BK.1058 PG.271

GREEN END POND
CITY OF NEWPORT

IRON ROD FOUND
S61°26'07"E
0.16' FROM CORNER

A.P. 115, LOT 671
N/F CHILD AND FAMILY SERVICES OF
NEWPORT COUNTY
BK 1435 PG 283

BENCHMARK SPIKE SET
NAVD88 DATUM
ELEV.=46.69'

GRANITE BOUND FOUND
S72°35'43"W
0.20' FROM LINE
(PT 13+39.96, RT. 50.00')

SURVEYOR'S CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY TOPOGRAPHIC SURVEY ACCURACY

MEASUREMENT SPECIFICATION: CLASS 1 CLASS T-2

STATEMENT OF PURPOSE: THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DETERMINE AND MONUMENT THE LOCATION OF THE PROPERTY BOUNDARIES OF A.P. 115, LOT 33.

SEAN M. LEACH
PROFESSIONAL LAND SURVEYOR
NO. 1907
DATE: 06/30/2021
COA NO. A335

LEGEND:

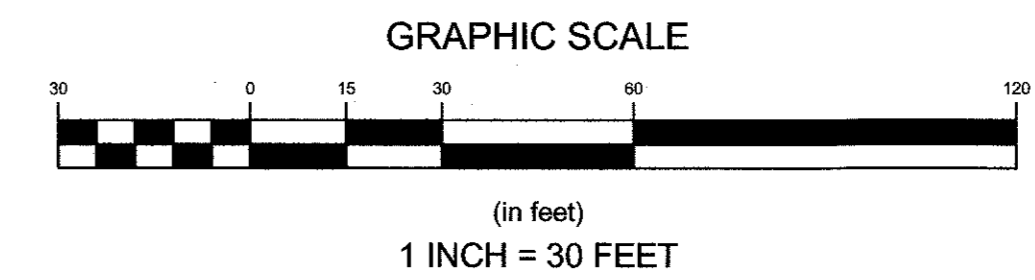
—	PROPERTY BOUNDARY
- - -	ABUTTERS BOUNDARY
- · - · -	TOPOGRAPHIC CONTOUR
○	IRON ROD
□	GRANITE BOUND
■	CATCH BASIN
⊕	WATER VALVE
⊙	LIGHT POLE
⊕	HYDRANT
⊙	SEWER MANHOLE

GENERAL NOTES:

- EXISTING CONDITIONS ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2020.
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- NORTH ARROW IS BASED ON RHODE ISLAND STATE PLANE COORDINATES (RISP).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. NE&C IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

PLAN REFERENCES:

- PLAN ENTITLED "SEA CORP, A.P. 114, LOT 602, PARKING LOT EXPANSION", PREPARED FRO SEA CORP C/O KEVIN BORGES, PREPARED IN OCTOBER 2015 BY NORTHEAST ENGINEERS & CONSULTANTS.
- PLAN ENTITLED "HOOD SAILS BUILDING, A.P. LOTS 31&32" PREPARED FOR MR. DAVID FOX, ESQ., PREPARED IN MAY 2007 BY NORTHEAST ENGINEERS & CONSULTANTS.
- PLAN ENTITLED "SUBDIVISION PLAN OF AQUIDNECK INDUSTRIAL PARK, MIDDLETOWN, RI", PREPARED IN APRIL 1976 BY CE MAGUIRE, INC.



No.	Revision	Date	App.
Designed By:	Drawn by:	GT	Checked by:
Scale:	1" = 30'	Date:	MAY 2021
Project Title:			
A.P. 115, LOT 33 EASTON POND REALTY LLC			
55 JOHN CLARKE ROAD MIDDLETOWN, RHODE ISLAND			
Client/Owner:			
EASTON POND REALTY LLC 55 JOHN CLARKE ROAD MIDDLETOWN, RI			
Issued for:			
Drawing Title:			
COMPREHENSIVE BOUNDARY SURVEY & EXISTING CONDITIONS			
Drawing Number:			L1
Sheet			1 of 1
Project Number:			20207
Survey Index:			13 - 115 - 33
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