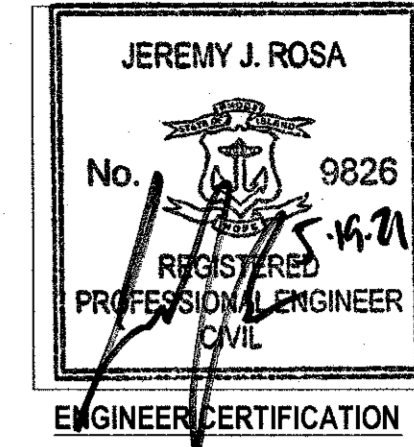


RESTAURANT AND HOTEL

(FORMERLY KJ'S RESTAURANT)
 ASSESSOR'S PLAT 115SE LOT 169
 59 AQUIDNECK AVENUE
 MIDDLETOWN, RHODE ISLAND

CIVIL ENGINEER: NORTHEAST ENGINEERS & CONSULTANTS, INC.



OWNER:

MR. JACK GULLISON
 P.O. BOX 3129
 NEWPORT, RI 02840

MAY 18, 2021 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

- TITLE SHEET
- NOTES
- EXISTING CONDITIONS
- PROPOSED LAYOUT AND UTILITY PLAN
- PROPOSED GRADING, DRAINAGE AND SESC
- PROPOSED DETAILS

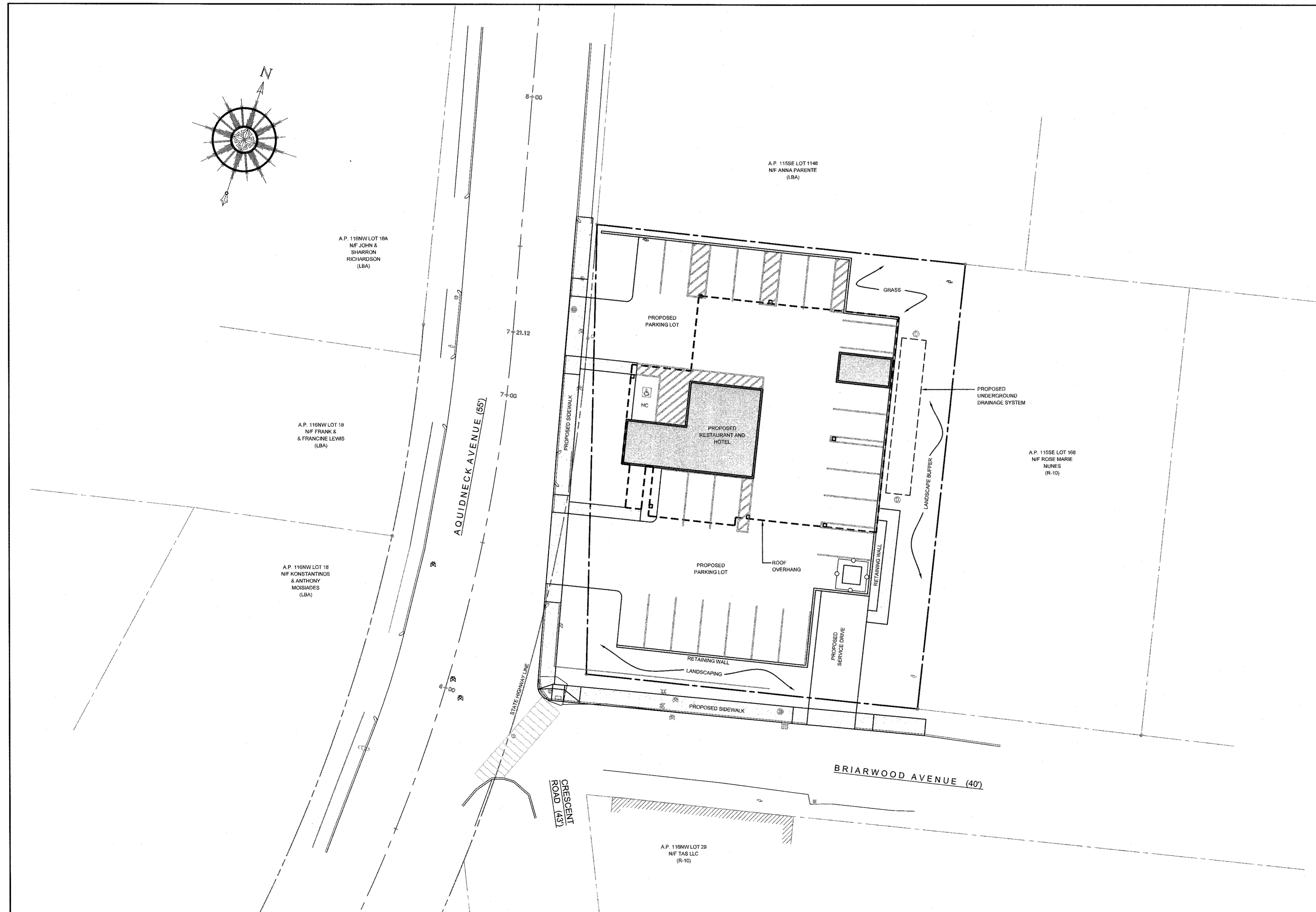
- SHEET 1
- SHEET 2
- SHEET 3
- SHEET 4
- SHEET 5
- SHEETS 6-8

PLANS BY OTHERS

CLASS I PROPERTY LINE SURVEY

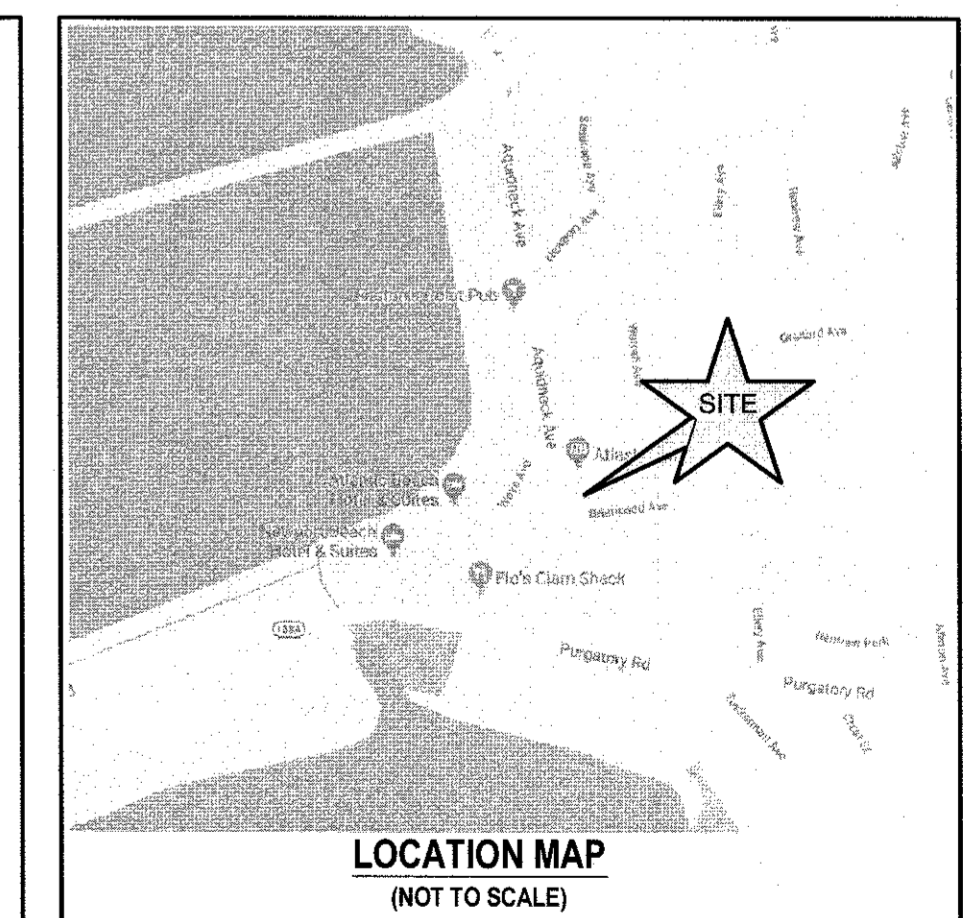
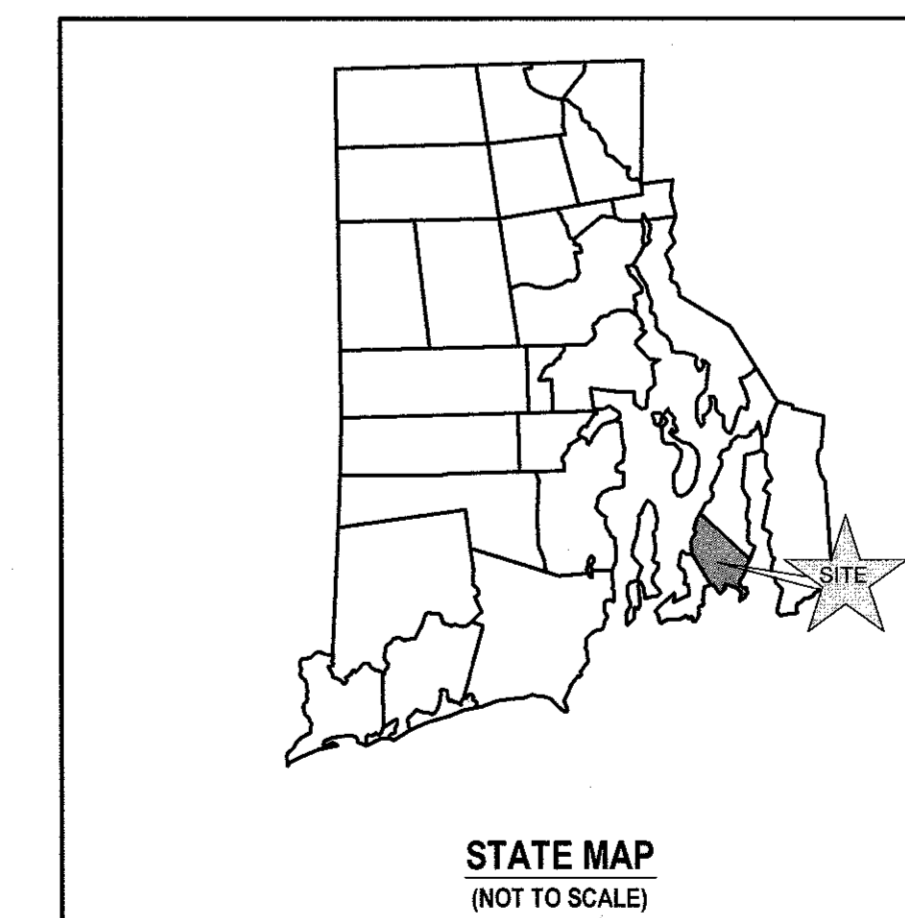
· UPDATED EXISTING CONDITIONS SITE PLAN FOR JOHN R. GULLISON & BONNIE F. ZIMBLE, ASSESSOR'S PLAT 115SE LOT 169, AQUIDNECK AVENUE & BRIARWOOD AVENUE, MIDDLETOWN, RHODE ISLAND, APRIL 21, 2020, BY MJ GASTON & ASSOCIATES, LLC.

SHEET 1 OF 1



SITE PLAN

SCALE = 1"=20'



SUBMISSION AND REVISION SUMMARY		
AGENCY OR REVISION	DATE	COMMENTS
TOWN OF MIDDLETOWN	JAN 2018	SPECIAL USE PERMIT
RIDOT	MAR 2018	PAP APPLICATION
RIDOT	AUG 2018	PAP APPLICATION RESUBMISSION
RIDOT	AUG 2018	PAP APPLICATION RESUBMISSION
TOWN OF MIDDLETOWN	APR 2019	DEVELOPMENT PLAN REVIEW
RIDOT	MAR 2020	REVISED SITE CONFIGURATION
RIDOT	APR 2020	RESPONSE TO COMMENTS
TOWN OF MIDDLETOWN	MAY 2021	TRC REVISIONS

GENERAL NOTES

- PROPERTY LINES AND SITE FEATURES TAKEN FROM PLAN ENTITLED "UPDATED EXISTING CONDITIONS SITE PLAN FOR JOHN R. GULLISON & BONNIE F. ZIMBLE SHOWING PROPOSED HOTEL BUILDING LOCATION ASSESSOR'S PLATE 1155E LOTS 159 AQUIDNECK AVENUE & BRIARWOOD AVENUE, MIDDLETOWN, RHODE ISLAND", A CLASS 1 SURVEY PREPARED BY M.J. GASTON & ASSOCIATES, LLC, PROFESSIONAL LAND SURVEYORS, DATED APRIL, 2021.
- ELEVATION BASE NAVD 1988 PER PLAN REFERENCED IN NOTE 1.
- PROPERTY IS ZONED LBA (LIMITED BUSINESS). ADJUTING PROPERTIES ARE ZONED R10 (HIGH DENSITY RESIDENTIAL) & LBA (LIMITED BUSINESS).
- NORTH ARROW TAKEN FROM PLAN REFERENCED IN NOTE 1.
- MONITORING WELLS INSTALLED IN AUGUST OF 2011 REVEALED A GROUNDWATER ELEVATION BETWEEN 2.7 AND 4.9 FEET BELOW GRADE. THE RIDEM GROUNDWATER CORRECTION FACTOR FOR THAT TIME PERIOD EXCEEDS THESE DEPTHS. FOR THE PROPOSED DESIGN IT HAS BEEN ASSUMED THAT GROUNDWATER INFILTRATION IS NOT POSSIBLE PER THE STIPULATIONS OF THE RHODE ISLAND STORMWATER INSTALLATION DESIGN AND INSTALLATION STANDARDS MANUAL.
- PROPERTY IS LOCATED PARTIALLY WITH IN A FEMA ZONE "AE" (EL. 14) PER FEMA FIRM 44095C0181J, MAP EFFECTIVE SEPTEMBER 4, 2013.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
- THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE TOWN OF MIDDLETOWN OR THE CITY OF NEWPORT AS APPROPRIATE.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- THE PROPOSED DEVELOPMENT DOES NOT LIE IN ANY OF THE FOLLOWING AREAS:
 - NATURAL HERITAGE AREAS (NDMA)
 - SPECIAL AREA MANAGEMENT PLAN (CRMC)
 - GROUNDWATER AQUIFERS, STATE DESIGNATED "GROUNDWATER RESERVOIRS", RECHARGE AREAS, OR WELLHEAD PROTECTION AREAS
 - STATE, REGIONAL OR LOCAL GREENWAYS, OR GREENSPACE PRIORITIES
- THE PROJECT SITE LIES WITHIN WATERSHED PROTECTION DISTRICT 2.
- THE PROJECT REQUIRES A SPECIAL USE PERMIT FROM THE TOWN OF MIDDLETOWN. THE PROJECT ALSO REQUIRES A PHYSICAL ALTERATION PERMIT FROM THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- ALL WORK WITHIN THE STATE'S RIGHT OF WAY WILL CONFORM TO RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2013, WITH ALL REVISIONS AND RI STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS. FULL VERSIONS OF THE RIDOT STANDARD DETAILS MAY BE FOUND AT [HTTP://WWW.DOT.GOV/DOCUMENTS/Doingbusiness/ridot_std_details.pdf](http://www.dot.gov/documents/doingbusiness/ridot_std_details.pdf).

GRADING NOTES

- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- THE TOWN SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITIES, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
- THE PROPERTY LINE SHALL BE DELINEATED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITY.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- TEMPORARY EROSION CONTROL SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
- IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

- THE LOCATION OF PROPOSED ELECTRICAL CONNECTION TO THE EXISTING OVERHEAD SERVICE IN BRIARWOOD AVENUE IS PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICE IS SUBJECT TO DESIGN REVIEW AND APPROVAL OF NATIONAL GRID.
- THE EXISTING WATER SERVICE SHALL BE RE-USED WITH PERMISSION FROM THE NEWPORT WATER DEPARTMENT. A NEW FIRE SERVICE SHALL BE TAPPED FROM THE MAIN IN AQUIDNECK AVENUE WITH PERMISSION FROM THE NEWPORT WATER DEPARTMENT.
- NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
- THE EXISTING SEWER SERVICE SHALL BE RE-USED WITH PERMISSION FROM THE TOWN OF MIDDLETOWN DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
- IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTESTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE UTILITY WORK WITHIN THE RIDOT RIGHT OF WAY SHOWN ON THESE PLANS REQUIRES A RIDOT UTILITY PERMIT IN ADDITION TO THE PHYSICAL ALTERATION PERMIT.

DRAINAGE NOTES

- ALL ON-SITE DRAIN PIPES SHALL BE ADS-N12 SLOTTIGHT PIPES UNLESS OTHERWISE NOTED ON THIS PLAN. ALL DRAIN PIPING WITHIN THE ADJACENT RIGHT OF WAY SHALL BE RCP.
- ALL DRAIN MANHOLES AND DRAIN INLETS SHALL BE ADS NYLOPLAST DRAIN BASINS WITH THE EXCEPTION OF THE STRUCTURES WITHIN THE ADJACENT RIGHT OF WAY WHICH SHALL BE A CONCRETE STRUCTURE CONFORMING TO RIDOT STANDARDS AS NOTED.
- PROPOSED STRUCTURE ROOFTOP SHALL BE DIRECTLY CONNECTED INTO THE PROPOSED DRAINAGE PIPING SYSTEM AS SHOWN ON THE PLANS. ROOF OVERFLOW RUNOFF SHALL BE TO GRADE AS SHOWN.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION SEQUENCE:

- DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA ONE OF THE PAVED ACCESS POINTS. SHOULD THIS NO LONGER BE POSSIBLE AT ANY POINT DURING CONSTRUCTION, THE CONTRACTOR SHALL CONSTRUCT A SUPPLEMENTAL STABILIZED CONSTRUCTION ENTRANCE CONFORMING TO THE DETAIL PROVIDED.
- INSTALL SILT FENCES, SILT SACKS, CHECK DAMS AND/OR STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- CONTRACTOR TO LOCATE EXISTING SEWER AND WATER SERVICES TO EXISTING STRUCTURE. SERVICES SHALL BE DISCONNECTED AND MARKED IN THE FIELD FOR LATER USE.
- DEMOLISH EXISTING STRUCTURE, WALLS, AND EXISTING PAVEMENT WITH THE EXCEPTION OF THE PAVED CONSTRUCTION ENTRANCE. REMOVE AND DISPOSE OF ALL MATERIAL AT A LICENSED OFF-SITE FACILITY.
- REMOVE ANY VEGETATION ONLY WHERE NECESSARY.
- ROUGH GRADE SITE AND BUILDING PAD PER GRADING PLAN.
- CONSTRUCT BUILDING FOUNDATIONS AND RETAINING WALLS.
- FILL BEHIND RETAINING WALLS PER GRADING NOTES AND INSTALL DRAINAGE SYSTEM / CONVEYANCE.
- COMPLETE BUILDING CONSTRUCTION.
- FINAL GRADE SITE AND SET CURBING PER DETAILS PROVIDED.
- INSTALL BINDER PAVEMENT COURSE AND SIDEWALKS.
- REMOVE SEDIMENTS FROM DRAINAGE SYSTEM.
- ENSURE THAT ROOFTOP DRAINAGE SYSTEMS FUNCTION AS NOTED ON DRAINAGE PLAN.
- TOP PAVEMENT COURSE AND MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

2. NOTES:

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
 - AS ALL DRAINAGE SYSTEMS ARE TO BE LINED, THESE AREAS MAY BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
 - ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
 - FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
 - ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
 - FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
 - FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
 - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOOVINGS.

3. VEGETATIVE PRACTICE:

PERMANENT MEASURES:

- SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
- LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
- A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)

- LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10) 500 LBS/ACRE
- SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LB/ACRE
- STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

4. MAINTENANCE

- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
- AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - SILT SACKS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. DURING HEAVY RAIN EVENT, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SACKS IN ORDER TO PREVENT FLOODING. SEDIMENT TRAPPED WITHIN SACKS SHALL BE DISPOSED OF OFF SITE AT A LICENSED FACILITY OR REGRADED ON THE SITE.
 - STONE RIPRAP SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - IF INSTALLED, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
 - SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

- CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

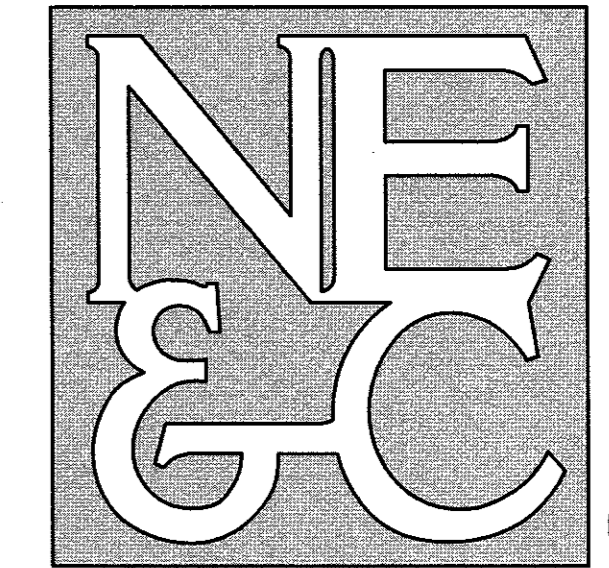
STORMWATER MAINTENANCE NOTES

- REFER TO "STORMWATER SYSTEM OPERATIONS AND MAINTENANCE PLAN FOR PROPOSED RESTAURANT AND HOTEL (FORMERLY KJ'S), ASSESSOR'S MAP 1155E LOT 169, AQUIDNECK AVENUE AND BRIARWOOD AVENUE, MIDDLETOWN, RI FOR ALL POST CONSTRUCTION MAINTENANCE REQUIREMENTS.
- MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNER.

ABBREVIATIONS

AC	ASPHALT PAVEMENT
ADJ	ADJACENT
AP	ASSESSOR'S PLAT
ACCESS	ACCESSIBLE
ARCH	ARCHITECT
BC	BOTTOM OF CURB
BIT	BITUMINOUS
CLR	CLEARANCE
CMF	CORRUGATED METAL PIPE
CMJ	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECT
COTG	CLEAN OUT TO GRADE
CF	CUBIC FOOT
DEMO	DEMOLISH
DI	DRAIN INLET
DIA	DIAMETER
DMH	DRAIN MANHOLE
dp	DROP PIPE
DS	DOWN SPOUT
DWG	DRAWING
E	ELECTRIC
ELEVIEL	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FEE	FINISH FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FT	FEET
G	GAS
GAL	GALLON
GV	GATE VALVE
INV	INVERT
JOINT	JOINT
L	LENGTH
LAND	LANDSCAPE
NTS	NOT TO SCALE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
PAVT	PAVEMENT
PVC	POLYVINYLCHLORIDE
R	RADIUS
RC	REINFORCED CONCRETE
RECONN	RECONNECT
RIBB	RHODE ISLAND HIGHWAY BOUND
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROW	RIGHT OF WAY
S	SLOPE, SEWER
SF	SQUARE FEET
SHT	SHEET
SMH	SEWER MANHOLE
STA	STATION
STRUCT	STRUCTURAL
TC	TOP OF CURB
UGT	TOP OF SURFACE
UTP	UNDERGROUND TELEPHONE
W	TYPICAL
W	WATER
W	WITH
WMM	WELDED WIRE MESH

NORTHEAST ENGINEERS & CONSULTANTS, INC.



A KNOWLEDGE CORPORATION®

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM

- SITE/CIVIL
- LAND PLANNING
- WATERFRONT
- SURVEYING
- GEOTECHNICAL
- ENVIRONMENTAL
- TRANSPORTATION
- STRUCTURAL
- MATERIALS TESTING

6	REVISED FOR MIDDLETOWN TRC	05MAY18	
5	UPDATED SURVEY NOTE	24APR20	
4	RIDOT RESUBMISSION	04MAR20	
3	TOWN OF MIDDLETOWN	11APR19	
2	RIDOT PAPA RESUBMISSION	03AUG18	
1	RIDOT PAPA	22MAR18	

No.	Revision	Date	App.
Designed By:		Drawn by: JJR	Checked by: GES
Scale: N/A		Date: 08JAN18	

Project Title:
**PROPOSED RESTAURANT AND HOTEL
(FORMERLY KJ'S PUB)
A.P. 1155E LOT 169
59 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND**

Client/Owner:
**MR. JACK GULLISON
P.O. BOX 3129
NEWPORT, RI, 02840**

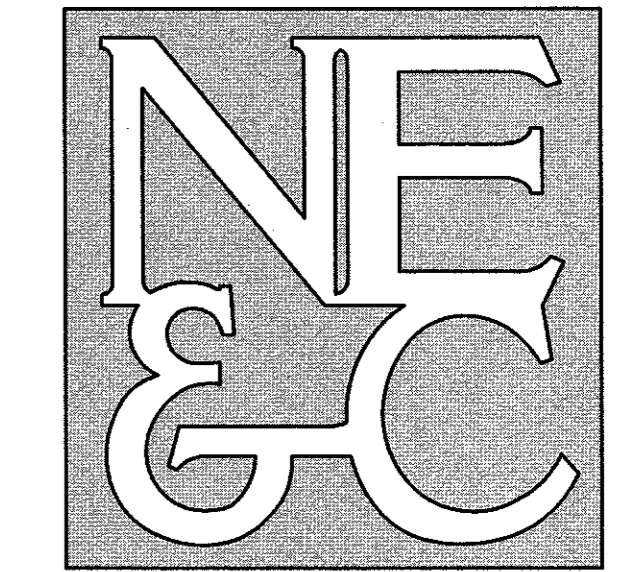
Issued for:
PERMITTING

Drawing Title:

NOTES

	Drawing Number: C-2
	Sheet 2 of 8
	Project Number: 17020.0
	Survey Index: -

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.



A KNOWLEDGE CORPORATION®

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM

LEGEND

- PROPERTY LINE
- - - ABUTTING PROPERTY LINE
- - - ZONING SETBACK
- - - TOPOGRAPHIC CONTOUR
- D DRAIN LINE (SIZE TBD)
- D18 18" DIA. DRAIN LINE
- D20 20" DIA. DRAIN LINE
- W WATER LINE
- G GAS LINE (NATIONAL GRID)
- S SEWER LINE
- OHW OVERHEAD WIRE
- - - FEMA FLOOD BOUNDARY
- - - RIDOT HIGHWAY CENTERLINE
- UTILITY POLE
- REBAR
- DRAIN MANHOLE
- SEWER MANHOLE
- WATER VALVE
- GAS VALVE
- RIDOT HWY BOUND

GENERAL NOTES

1. PROPERTY LINES AND SITE FEATURES TAKEN FROM PLAN ENTITLED "UPDATED EXISTING CONDITIONS SITE PLAN FOR JOHN R. GULLISON & BONNIE F. ZIMBLE SHOWING PROPOSED HOTEL BUILDING LOCATION ASSESSOR'S PLATE 1155E LOTS 169 AQUIDNECK AVENUE & BRIARWOOD AVENUE, MIDDLETOWN, RHODE ISLAND" A CLASS I SURVEY PREPARED BY M.J. GASTON & ASSOCIATES, LLC, PROFESSIONAL LAND SURVEYORS, DATED APRIL 21, 2020.

4	UPDATED WITH NEW SURVEY INFORMATION	22APR20	
3	TOWN OF MIDDLETOWN	11APR19	
2	RIDOT PAPA RESUBMISSION	03AUG18	
1	RIDOT PAPA	22MAR18	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=10'	Date:	08JAN18

Project Title:
**PROPOSED RESTAURANT AND HOTEL
(FORMERLY KJ'S PUB)**
A.P. 1155E LOT 169
59 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND

Client/Owner:
**MR. JACK GULLISON
P.O. BOX 3129
NEWPORT, RI, 02840**

Issued for:
PERMITTING

Drawing Title:
EXISTING CONDITIONS

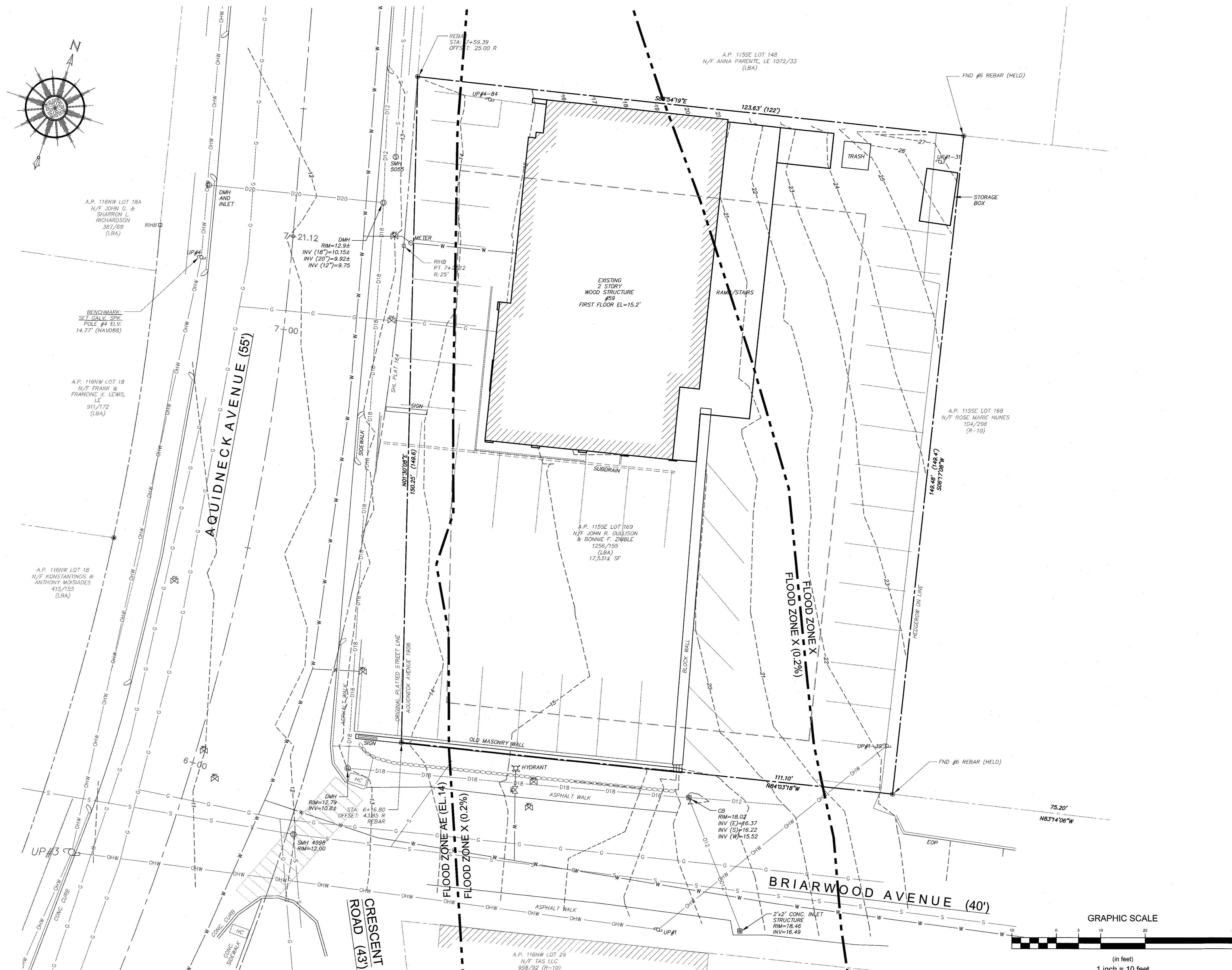
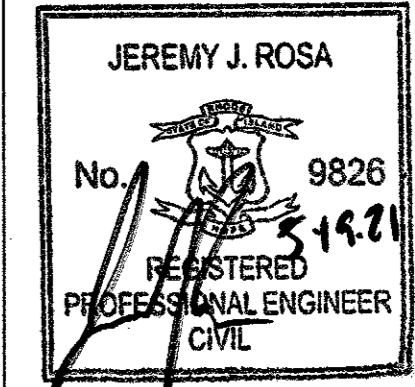
Drawing Number:
C-3

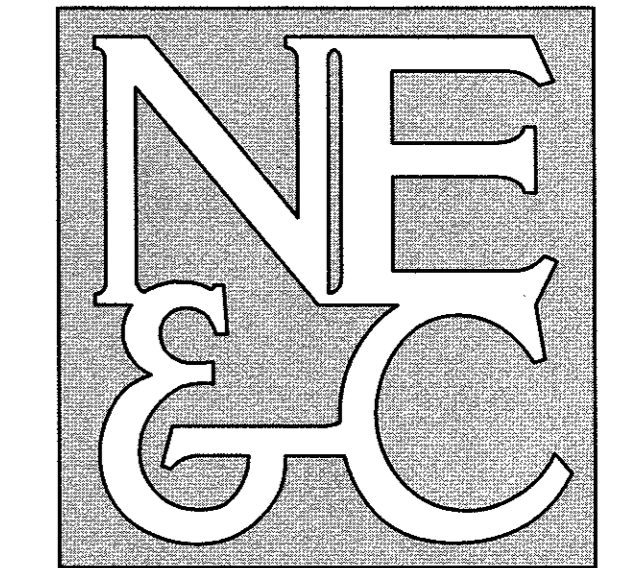
Sheet **3** of **8**

Project Number:
17020.0

Survey Index:

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.

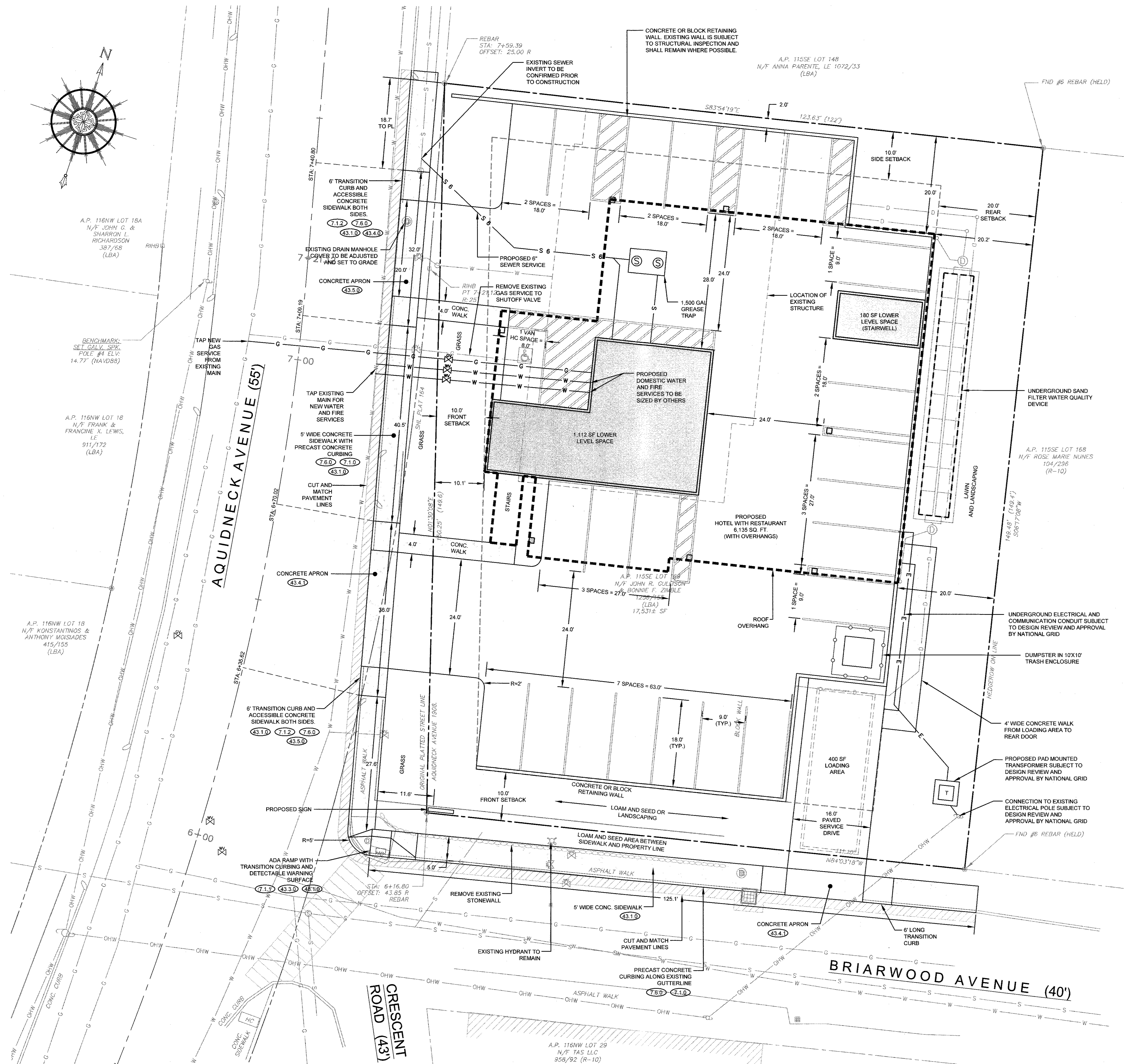
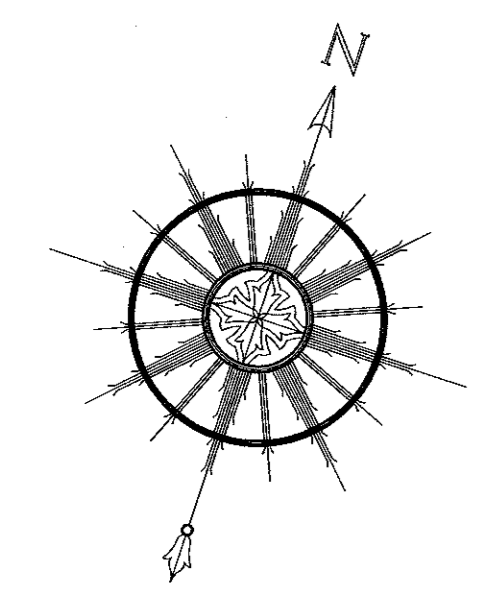




A KNOWLEDGE CORPORATION®

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
 PHONE (401) 849-0810 FAX (401) 846-4169
 WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL
 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL



MINIMUM PARKING REQUIREMENTS

HOTEL WITH RESTAURANT/MEETING ROOM	5 SPACES PLUS 1 PER UNIT
REQUIRED PARKING	23 SPACES (1 HC)
PROVIDED PARKING	24 SPACES

DENSITY REQUIREMENTS (HOTEL)

	ALLOWED	PROPOSED
1,000 SQUARE FEET PER UNIT	17.5 UNITS	18 UNITS

DIMENSIONAL REGULATIONS
 ZONING DISTRICT LBA
 (SPECIAL USE: HOTEL OR MOTEL)

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	20,000 SQ FT	17,531 SQ FT
MINIMUM LOT WIDTH	120 FT	150.25 FT (AQUIDNECK)
MINIMUM FRONT YARD SETBACK	10 FT	10 FT (1 FT OVERHANG)
MINIMUM REAR YARD SETBACK	20 FT	20 FT (1 FT OVERHANG)
MINIMUM SIDE YARD SETBACK	10 FT	25 FT (2 FT OVERHANG)
MAXIMUM BUILDING HEIGHT	40 FT	40 FT
MAXIMUM LOT COVERAGE	35%	35%

UTILITY NOTE:
 THE UTILITY WORK WITHIN THE RIDOT RIGHT OF WAY SHOWN ON THIS PLAN REQUIRES A RIDOT UTILITY PERMIT IN ADDITION TO THE PHYSICAL ALTERATION PERMIT.

No.	Revision	Date	App.
9	MIDDLETOWN TRC REVISIONS	18MAY21	
8	RIDOT REVISIONS	24APR20	
7	RIDOT RESUBMISSION	04MAR20	
6	TOWN OF MIDDLETOWN	11APR19	
5	RIDOT RESUBMISSION	17AUG18	
4	RIDOT RESUBMISSION	03AUG18	
3	REMOVE PROPERTY LINE CHANGE	03JUL18	
2	RIDOT PAPA REVISIONS	01JUN18	
1	RIDOT PAPA	22MAR18	

Designed By: _____ Drawn by: **JJR** Checked by: **GES**
 Scale: 1"=10' Date: 22MAR18

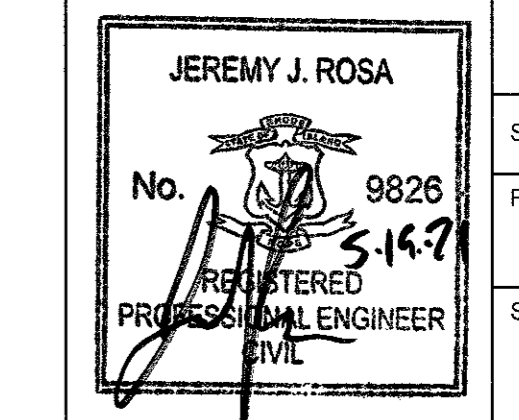
PROPOSED RESTAURANT AND HOTEL (FORMERLY KJ'S PUB)
 A.P. 115SE LOT 169
 59 AQUIDNECK AVENUE
 MIDDLETOWN, RHODE ISLAND

Client/Owner: **MR. JACK GULLISON**
 P.O. BOX 3129
 NEWPORT, RI, 02840

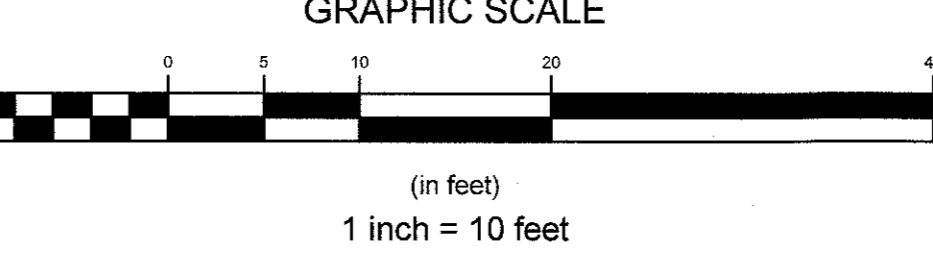
Issued for: **PERMITTING**

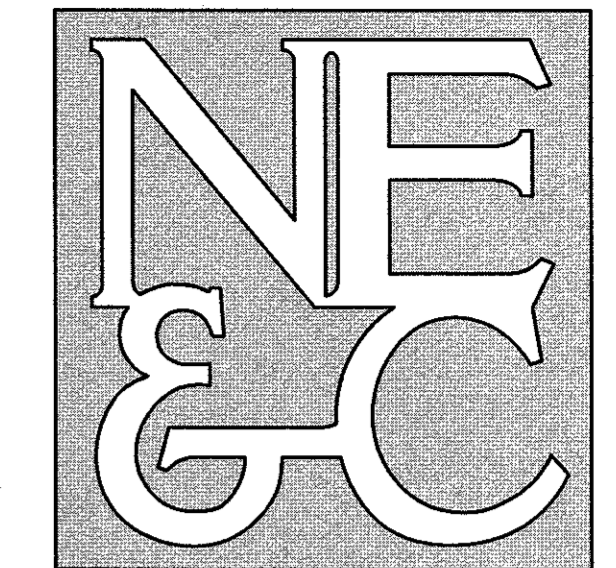
PROPOSED LAYOUT AND UTILITY PLAN

Drawing Number: **C-4**
 Sheet **4** of **8**
 Project Number: **17020.0**
 Survey Index: _____



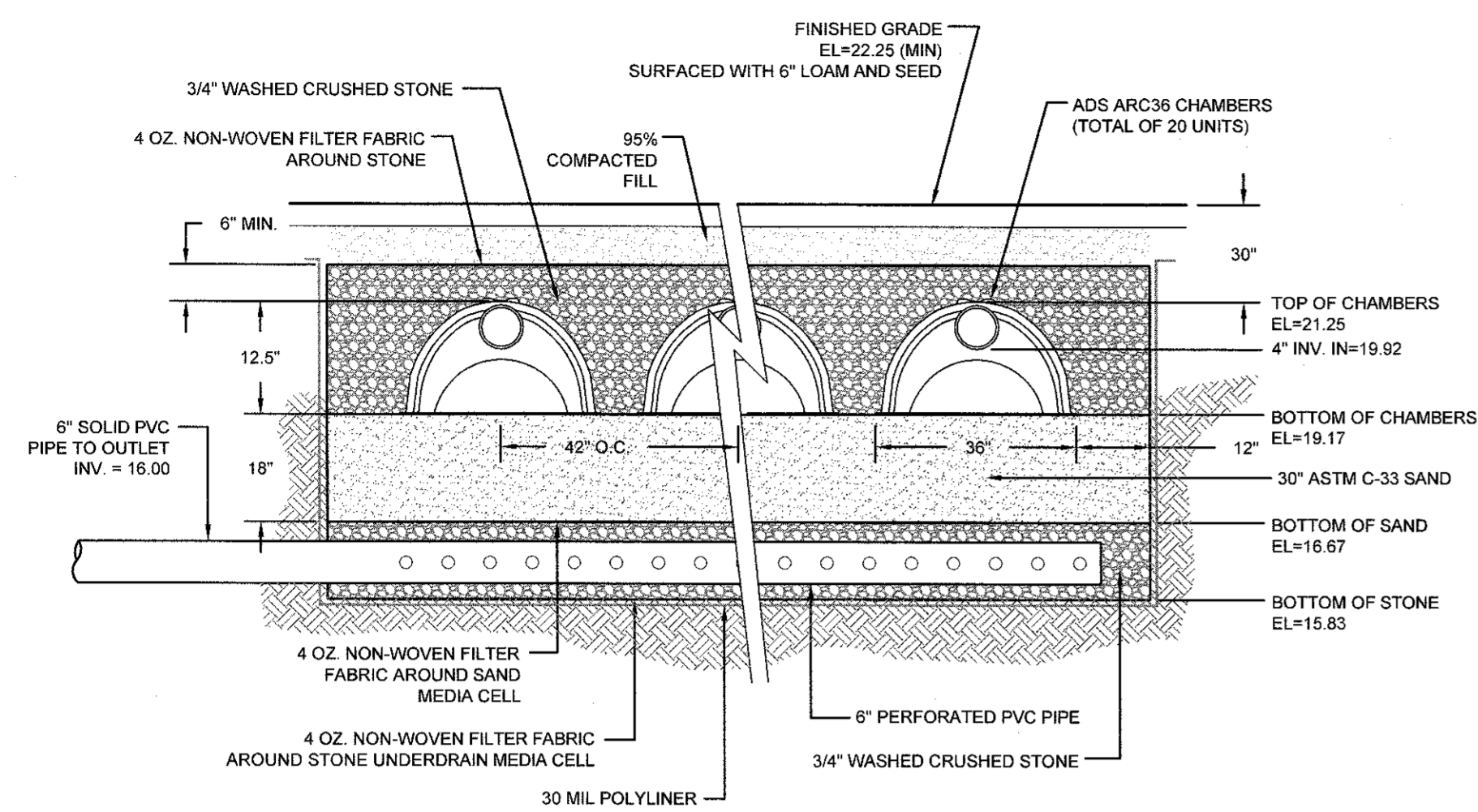
- LEGEND**
- PROPERTY LINE
 - ABUTTING PROPERTY LINE
 - WATER LINE
 - GAS LINE (NATIONAL GRID)
 - SEWER LINE
 - RIDOT HIGHWAY CENTERLINE
 - UTILITY POLE
 - REBAR
 - SEWER MANHOLE
 - WATER VALVE
 - GAS VALVE
 - RIDOT HWY BOUND
 - PROPOSED CURBLINE
 - W --- PROPOSED WATER SERVICE
 - S --- PROPOSED SEWER SERVICE
 - E --- PROPOSED UG ELEC CONDUIT
 - F --- PROPOSED FENCE LINE
 - PROPOSED ZONING SETBACK
 - PROPOSED WATER METER
 - PROPOSED WATER VALVE
 - PROPOSED 18" DIA. DRAIN LINE
 - PROPOSED DRAIN MANHOLE
 - PROPOSED CATCH BASIN





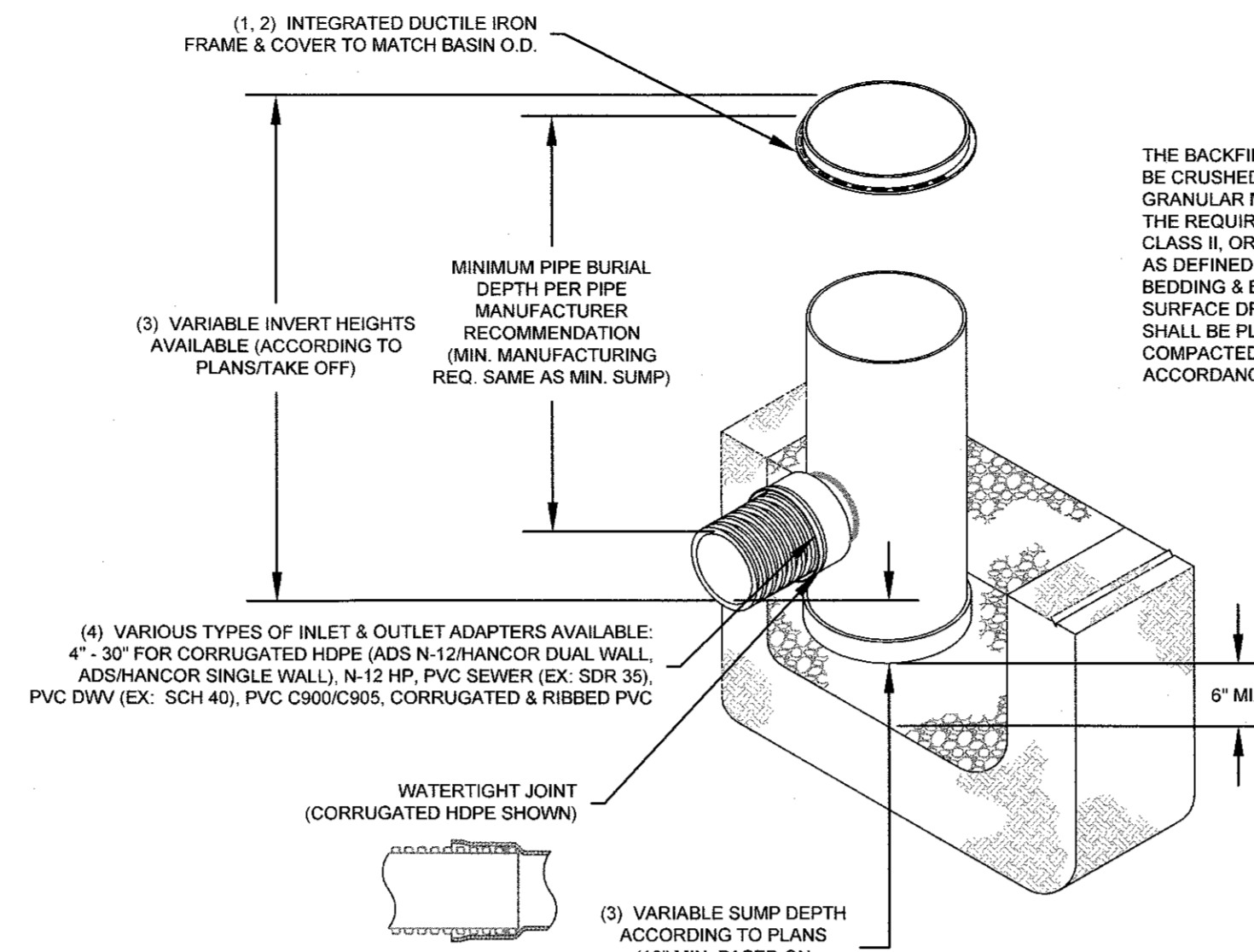
A KNOWLEDGE CORPORATION®

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM



NOTE: EXCAVATION FOR SYSTEM MUST BE LINED WITH A 30 MIL POLYLINER TO PREVENT INTERACTION WITH GROUNDWATER

LINED SUBSURFACE SAND FILTER
SCALE: NOT TO SCALE



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D3221.

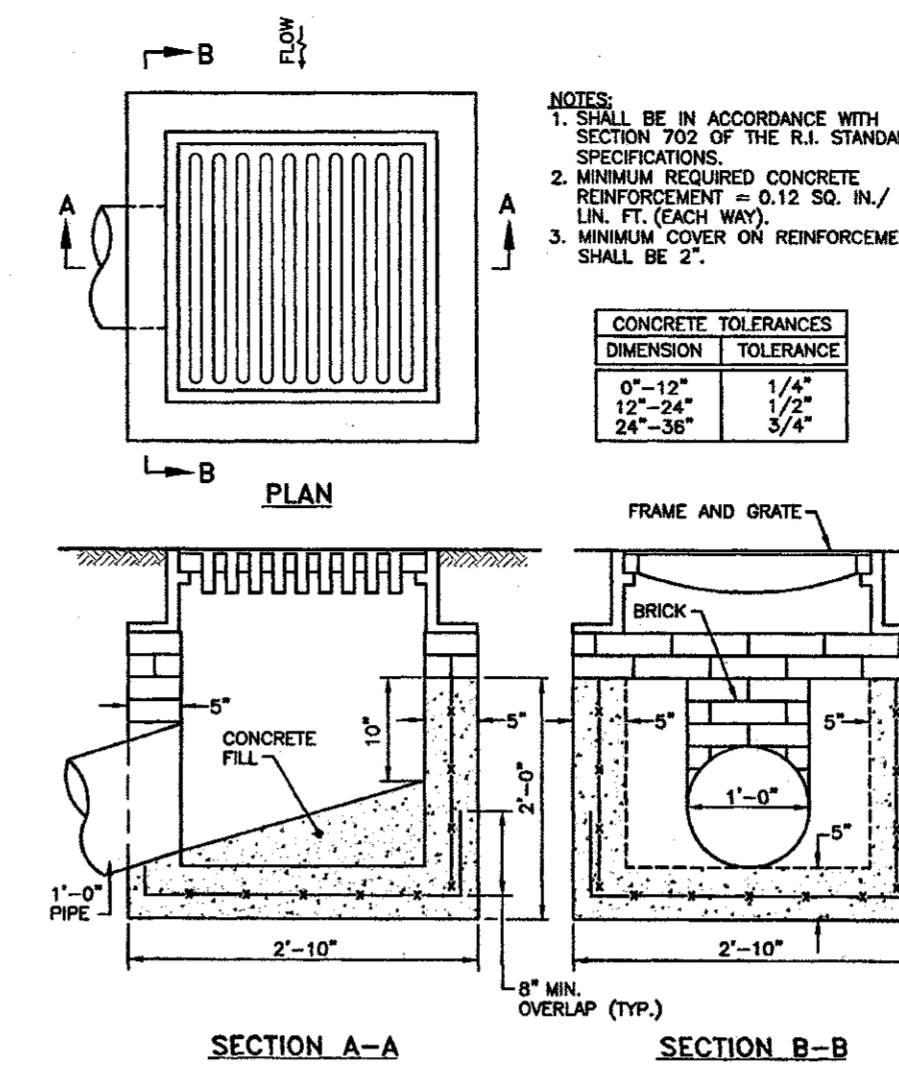
(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:
4" - 30" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C300/C305, CORRUGATED & RIBBED PVC

NOTES:

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").

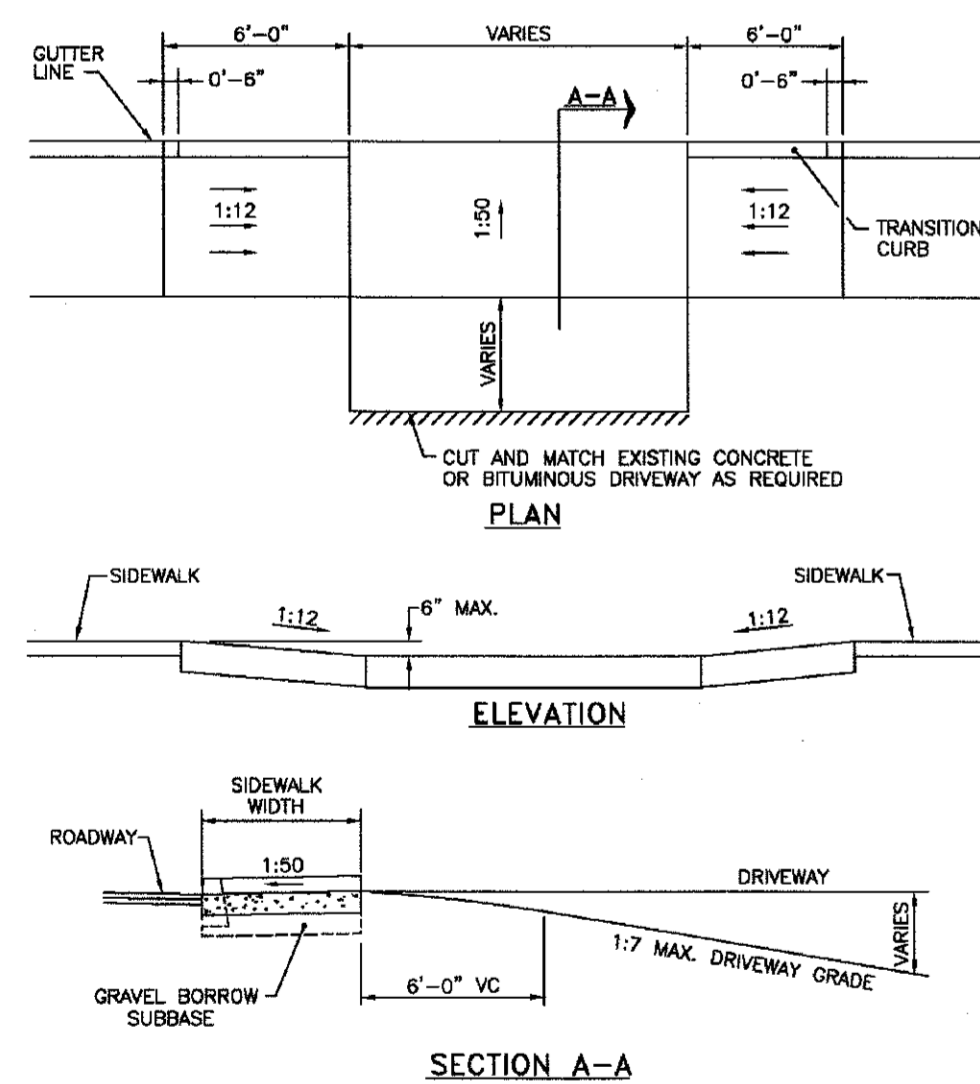
GRATE OPTIONS	LOAD RATING
PEDESTRIAN	H-20
STANDARD	H-20
SOLID COVER	H-20
DOMES	N/A

30" ADS DRAIN BASIN DETAIL
SCALE: NOT TO SCALE



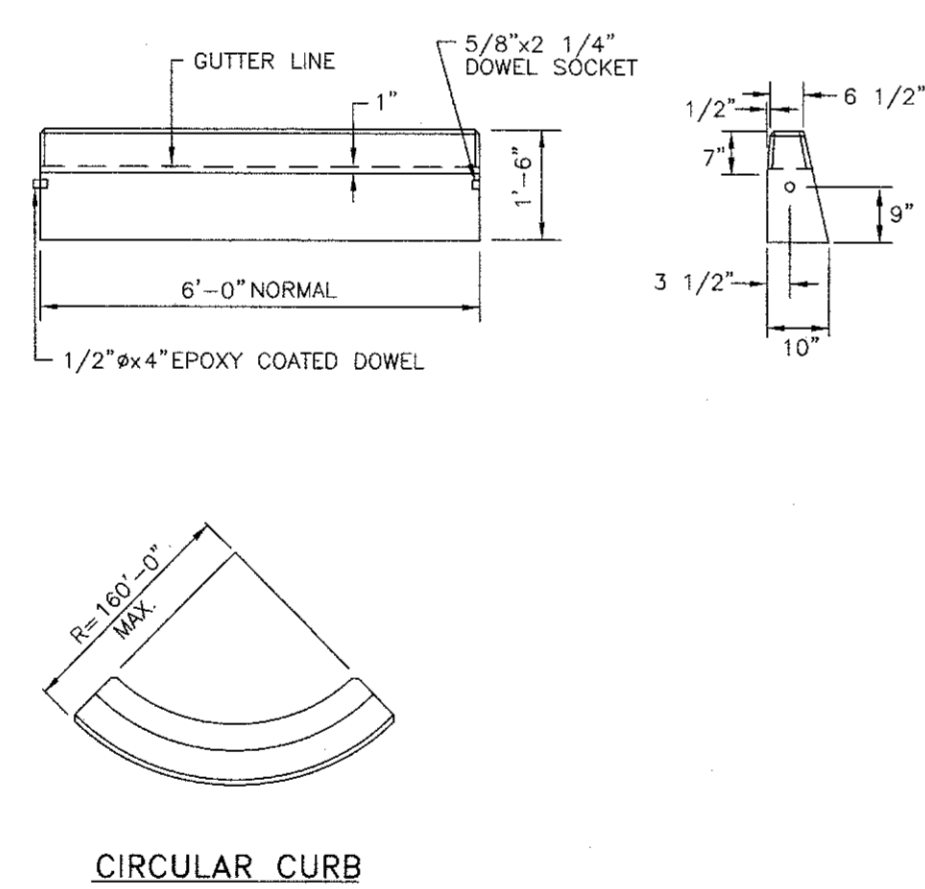
PRECAST CONCRETE DROP INLET (RIDOT 4.5.0)

SCALE: NOT TO SCALE
REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



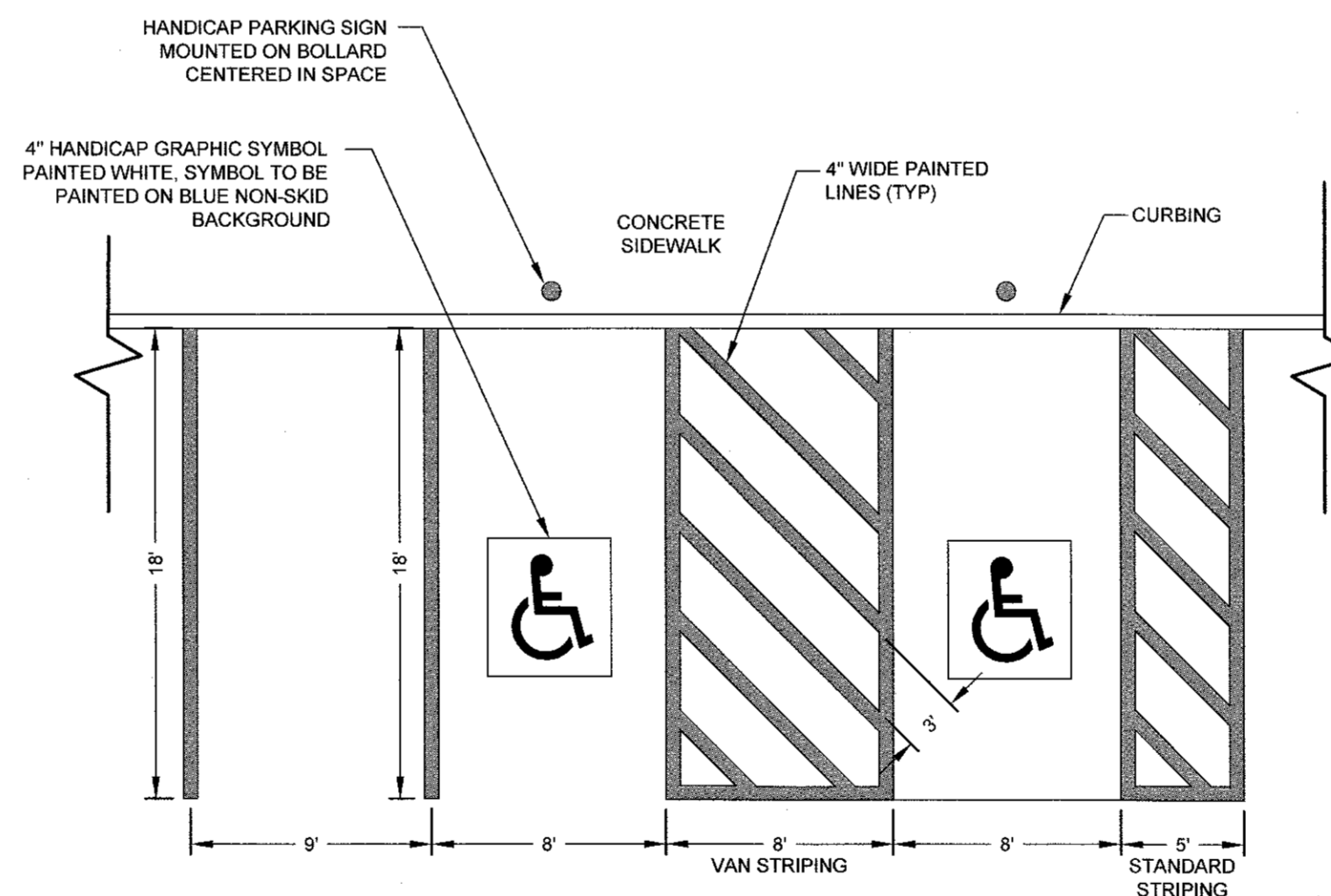
DRIVEWAY DEVELOPMENT FOR 6"-0" TRANSITION CURB (RIDOT STD 43.4.1)

SCALE: NOT TO SCALE
REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



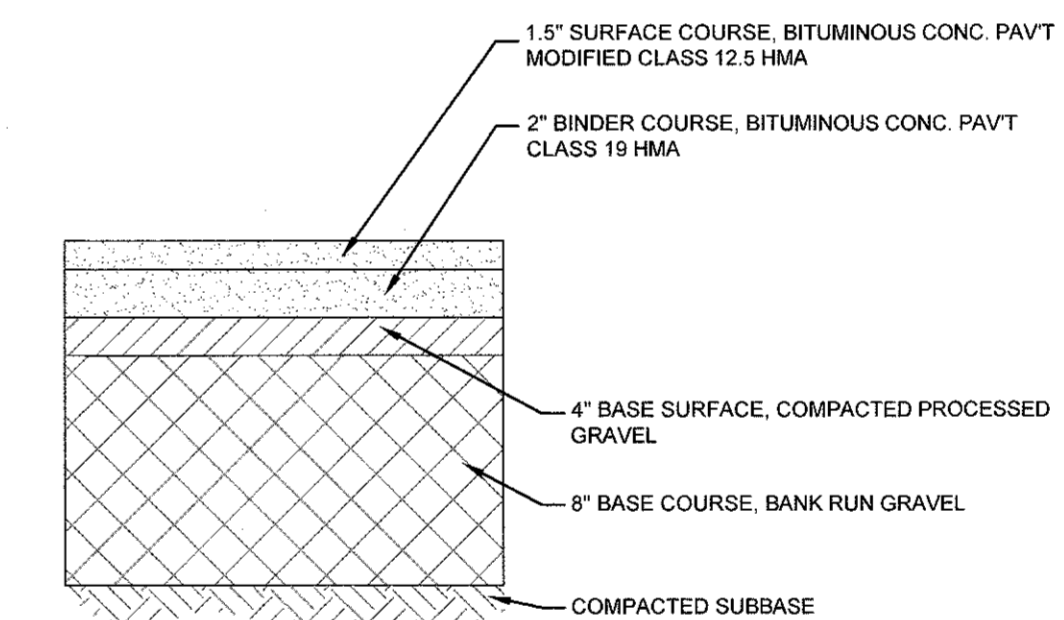
PRECAST CONCRETE CURB (RIDOT STD 7.1.0)

SCALE: NOT TO SCALE
REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.

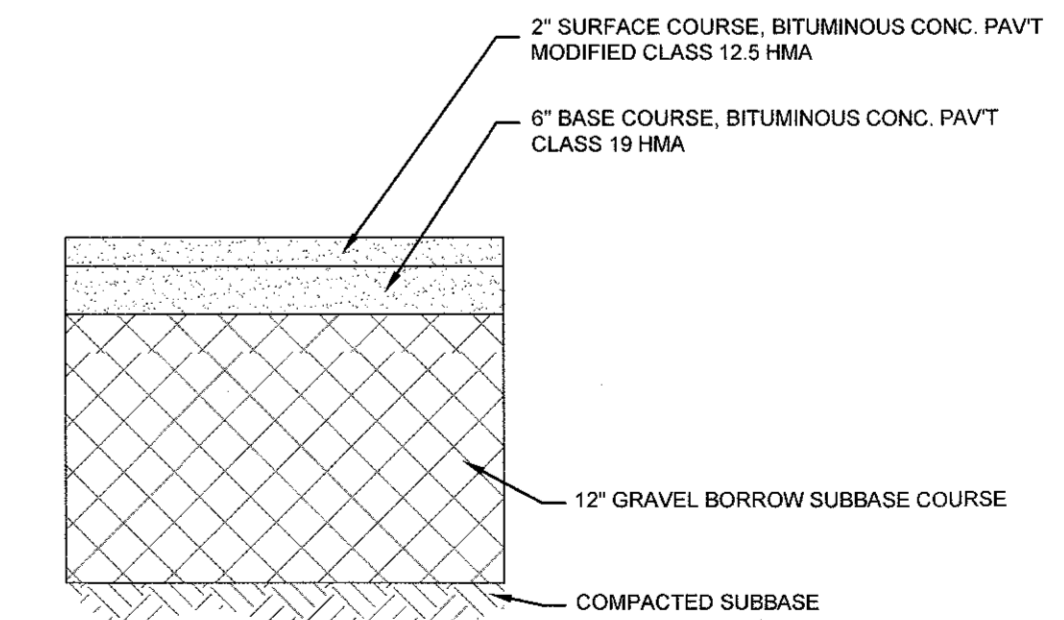


PARKING STALL STRIPING

SCALE: NOT TO SCALE



ON-SITE AREAS



AREAS WITHIN RIDOT R.O.W.

TYPICAL BITUMINOUS PAVEMENT SECTIONS

SCALE: NOT TO SCALE

5	UPDATED DETAILS	24APR20	
4	RIDOT SUBMISSION	04MAR20	
3	TOWN OF MIDDLETOWN	11APR19	
2	RIDOT PAPA RESUBMISSION	03AUG18	
1	RIDOT PAPA	22MAR18	
No.	Revision	Date	App.
Designed by:	AS SHOWN	Drawn by: JJR	Checked by: GES
Scale:	AS SHOWN	Date:	08JAN18

Project Title:
PROPOSED RESTAURANT AND HOTEL (FORMERLY KJ'S PUB)
A.P. 1155E LOT 169
59 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND

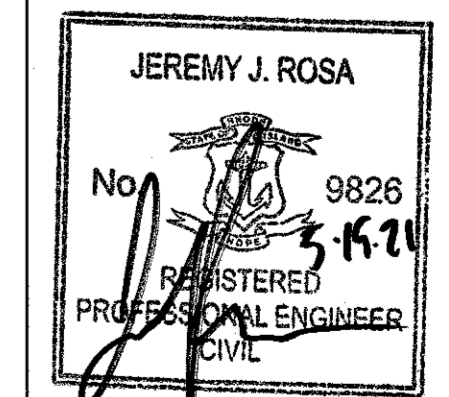
Client/Owner:
MR. JACK GULLISON
P.O. BOX 3129
NEWPORT, RI, 02840

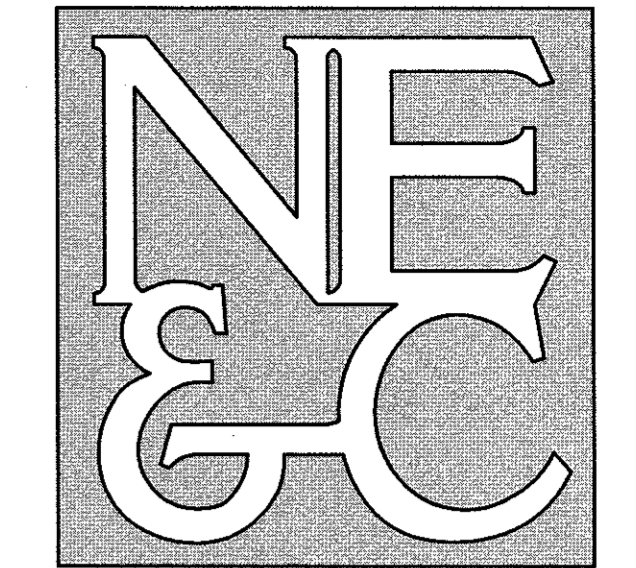
Issued for:
PERMITTING

Drawing Title:
DETAIL SHEET 1

Drawing Number:	C-6
Sheet	6 of 8
Project Number:	17020.0
Survey Index:	

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.

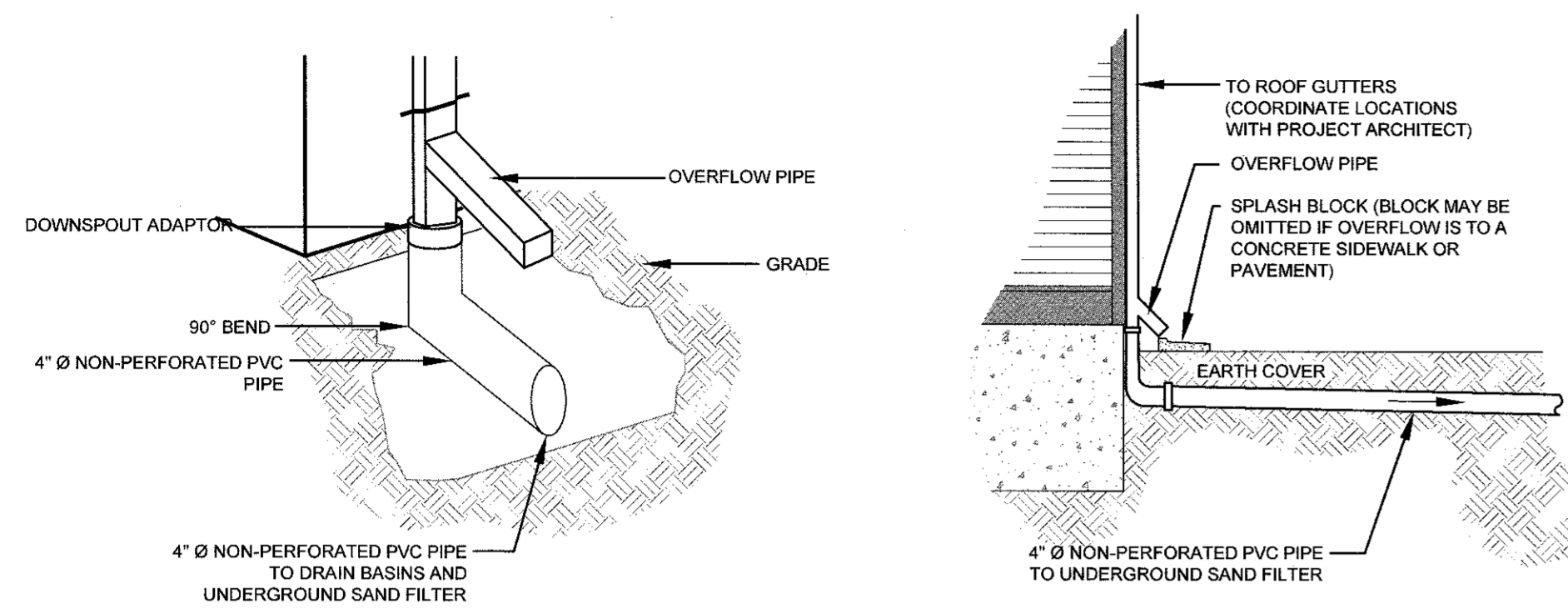




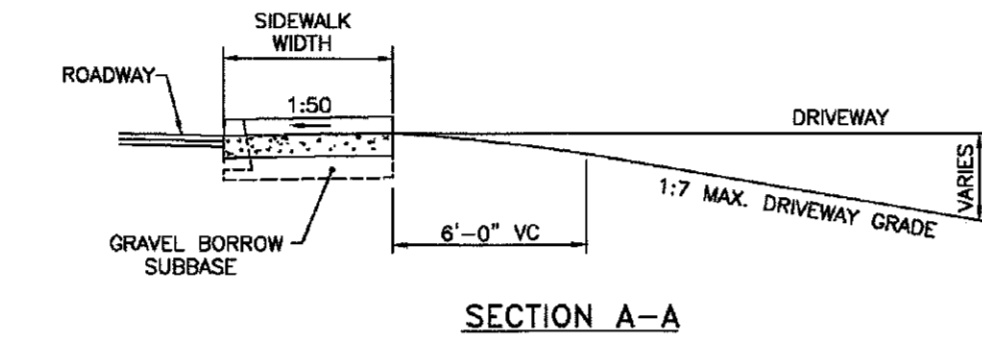
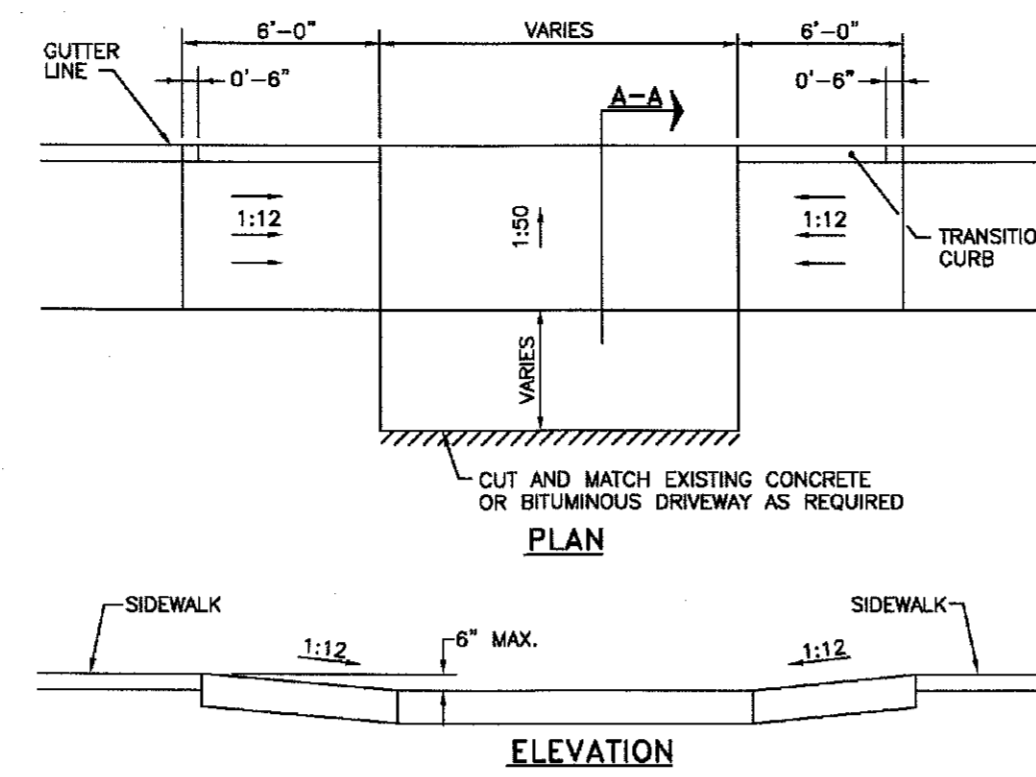
A KNOWLEDGE CORPORATION®

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
 PHONE (401) 849-0810 FAX (401) 846-4169
 WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL
 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL



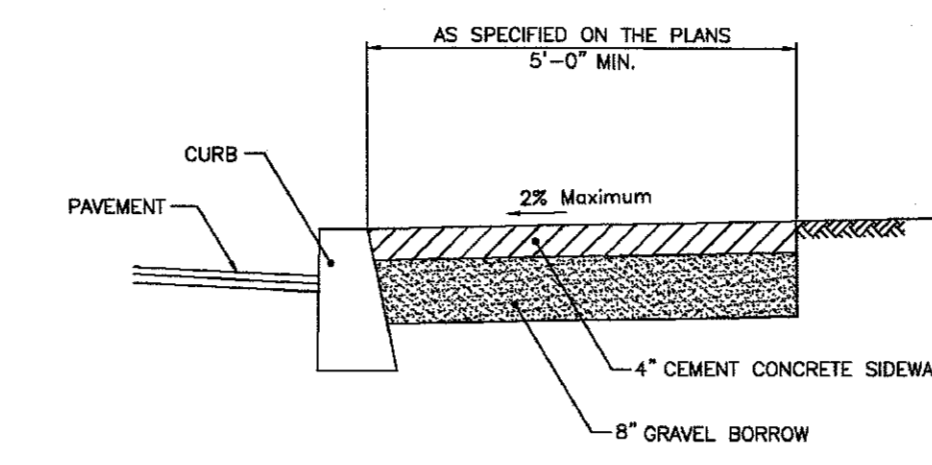
HOTEL ROOF DOWNSPOUT DETAILS
 SCALE: NOT TO SCALE



NOTE:
 SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.

DRIVEWAY DEVELOPMENT FOR 6' TRANSITION CURB (RIDOT 43.4.1)

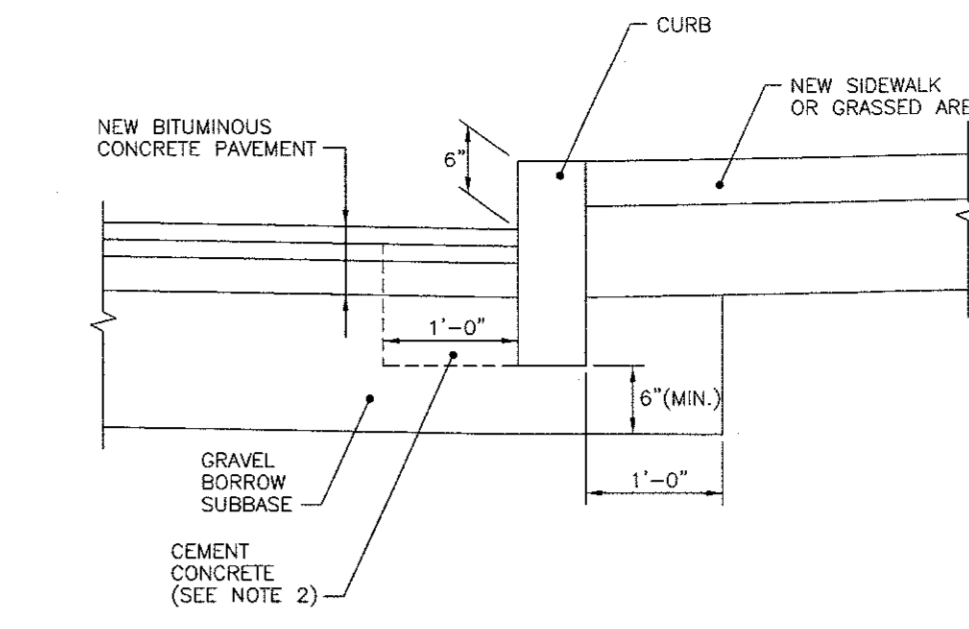
SCALE: NOT TO SCALE
 REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

CEMENT CONCRETE SIDEWALK (RIDOT 43.1.0)

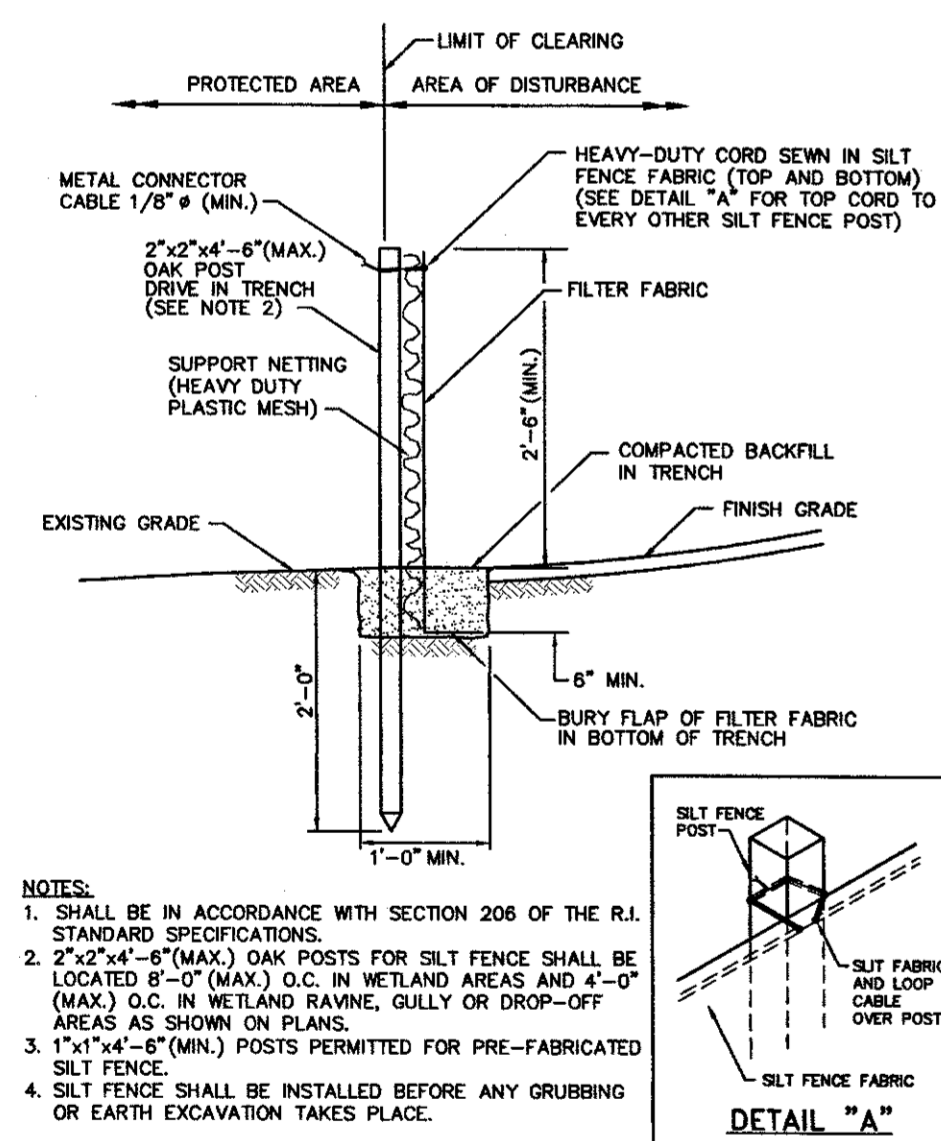
SCALE: NOT TO SCALE
 REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING DETAIL (RIDOT 7.6.0)

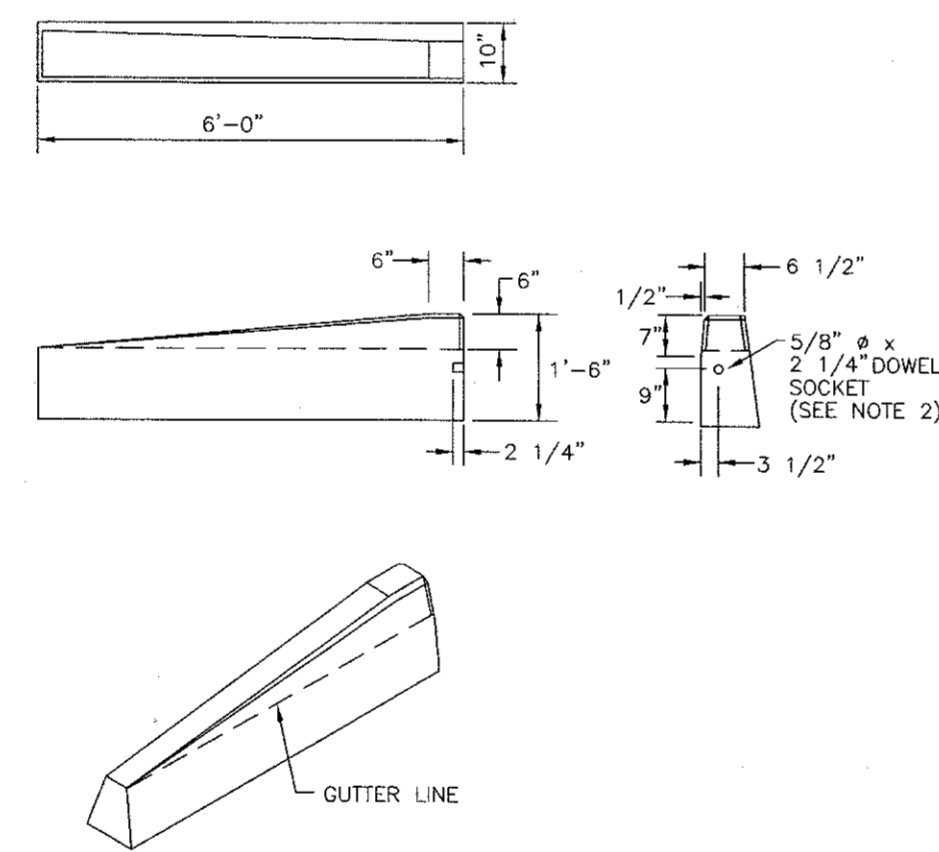
SCALE: NOT TO SCALE
 REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVERNE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

SILT FENCE EROSION CHECK (RIDOT 9.2.0)

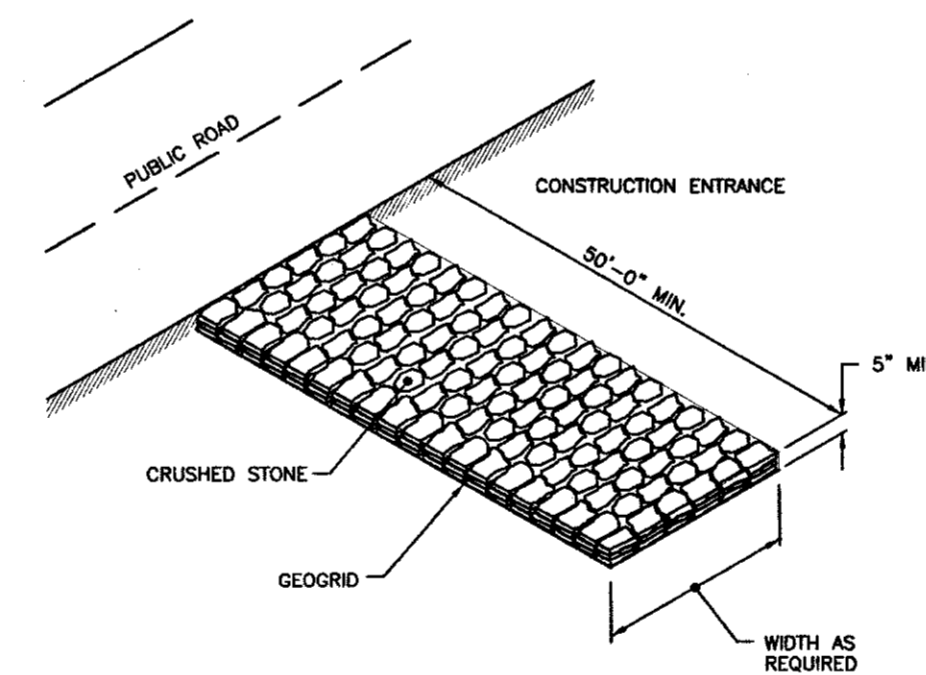
SCALE: NOT TO SCALE. REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

6' PRECAST CONCRETE TRANSITION CURB (RIDOT 7.1.2)

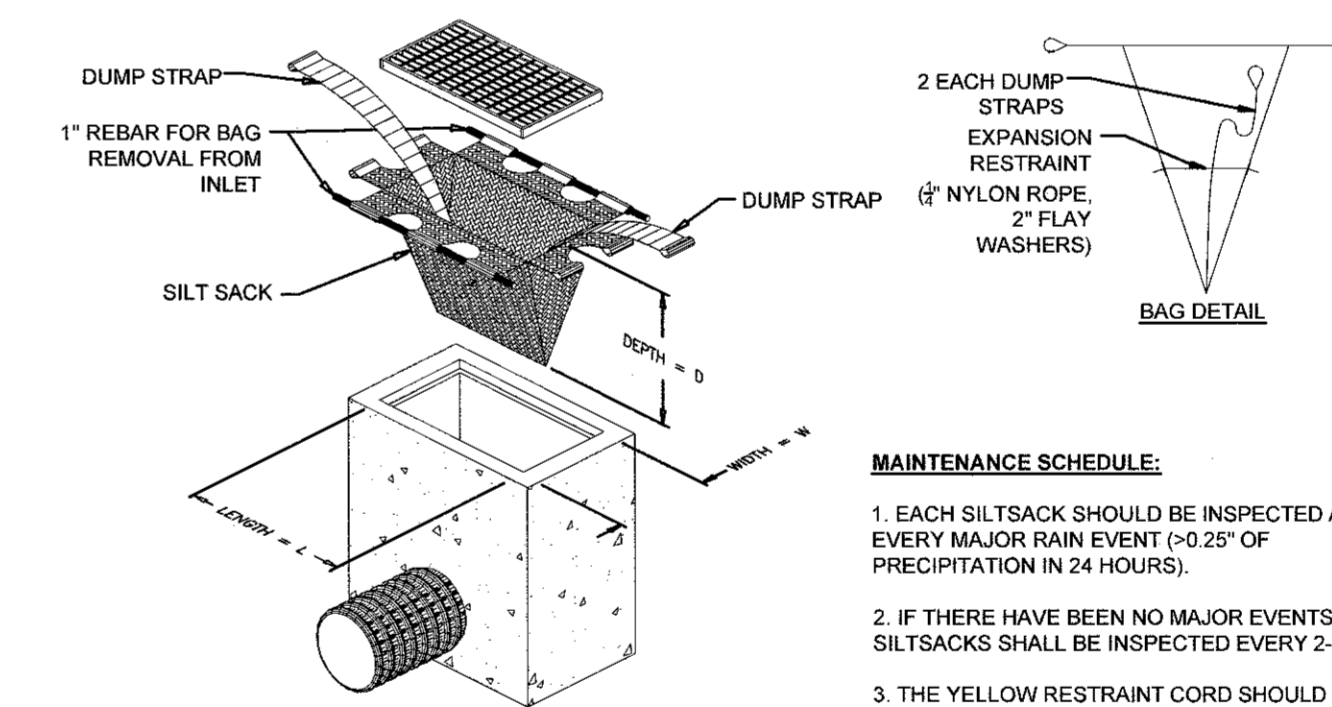
SCALE: NOT TO SCALE. REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



NOTE:
 SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

STONE CONSTRUCTION ACCESS (RIDOT 9.9.0)

SCALE: NOT TO SCALE
 REFER TO WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF FOR MOST RECENT REVISION OF THE RIDOT STANDARD DETAIL.



MAINTENANCE SCHEDULE:
 1. EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT (40.25" OF PRECIPITATION IN 24 HOURS).
 2. IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACKS SHALL BE INSPECTED EVERY 2-3 WEEKS.
 3. THE YELLOW RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

SILT SACK DETAIL

SCALE: NOT TO SCALE

3	RIDOT RESUBMISSION	04MAR20	
2	TOWN OF MIDDLETOWN	12APR19	
1	RIDOT PAPA	22MAR18	
No.	Revision	Date	App.
Designed By:	AS SHOWN	Drawn by: JJR	Checked by: GES
Scale:		Date:	08JAN18

Project Title:
PROPOSED RESTAURANT AND HOTEL (FORMERLY KJ'S PUB)
 A.P. 115SE LOT 169
 59 AQUIDNECK AVENUE
 MIDDLETOWN, RHODE ISLAND

Client/Owner:
MR. JACK GULLISON
 P.O. BOX 3129
 NEWPORT, RI 02840

Issued for:
 PERMITTING

Drawing Title:

DETAIL SHEET 3

Scale: NOT TO SCALE

Drawing Number:
C-8

Sheet **8** of **8**

Project Number:
17020.0

Survey Index:
 -

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.

PROJECTS\2017\17020 KJ'S GULLISON 59 AQUIDNECK\DRAWINGS\CURRENT\PERMITTING PLANS\17020_0_D1.DWG

REFERENCES:

- 1.) PLAN: "EXISTING CONDITIONS SITE PLAN FOR JOHN R. GULLISON & BONNIE F. ZIMBLE 115SE LOT 169 AQUIDNECK AVENUE & BRIARWOOD AVENUE MIDDLETOWN, MAY 11, 2017" BY MJ GASTON & ASSOCIATES.
- 2.) PLAN: "PLAN OF LAND OF JOHN R. GULLISON AND BONNIE F. ZIMBLE ASSESSOR'S PLATE 115SE LOTS 169 & 169A AQUIDNECK AVENUE & BRIARWOOD AVENUE MIDDLETOWN, AUGUST 25, 2011"
- 3.) PLAN: "SECOND PLAT OF LAND OF FIRST BEACH LAND CO. NEWPORT, R.I." BY: J.P. COTTON, CE DATED FEBRUARY 28, 1908. (PBI, PC3).
- 4.) STATE HIGHWAY PLATS Nos. 164 & 1138..
- 5.) R.I.D.O.T. FIELDBOOK Nos. 807, 808, 2257, 2258.
- 6.) DEEDS: VOL/PAGE; 1137/78; 344/338; 650/329; 526/113; 509/122. 496/61; 427/14; 107/476; 33/373.
- 7.) MIDDLETOWN TAX ASSESSOR'S PLATS 115SE, 116NW..

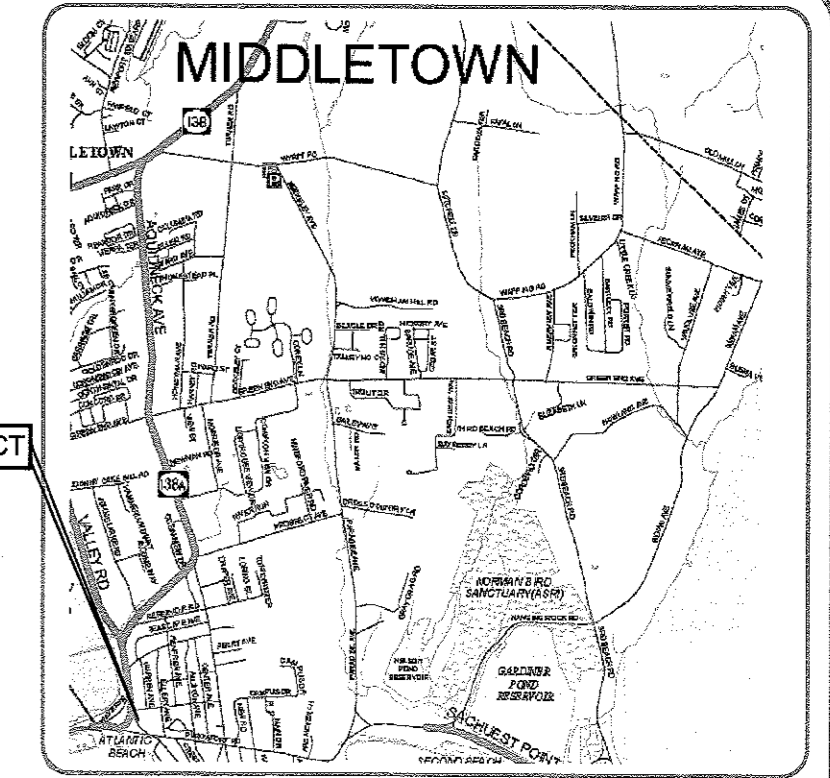
NOTES:

OWNERS OF RECORD:
 Lot 169
 John R. Gullison & Bonnie F. Zimble
 PO Box 3129
 Newport, R.I. 02840

LAND SPACE REQUIREMENTS:
 ZONING DISTRICT: LBA
 USE: Restaurant, Bar
 MIN. LOT AREA: 20,000 s.f. (17,531)
 MIN. YARD DIMENSIONS:
 front: 10' (17.1')
 side: 20' (2')
 rear: 50' (41.1')
 MIN. LOT FRONTAGE: 120' (150.2')
 MAX. LOT COVERAGE: 25% (25%)

FLOOD ZONE: AE14 & Shaded X
 N.F.I. P. F.I.R.M. No: 44005C0181J
 Map Revised September 4, 2013.

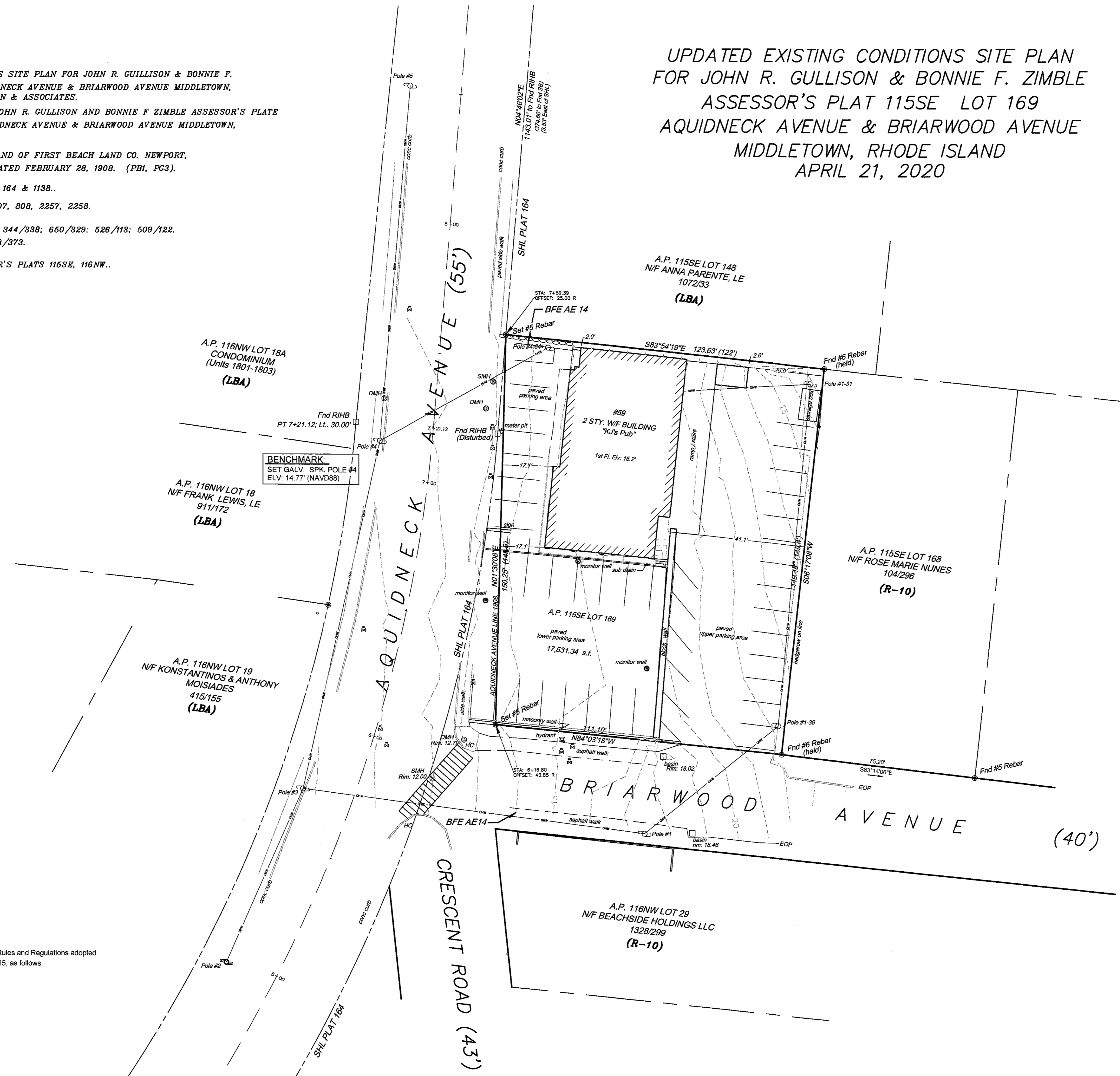
UPDATED EXISTING CONDITIONS SITE PLAN
 FOR JOHN R. GULLISON & BONNIE F. ZIMBLE
 ASSESSOR'S PLAT 115SE LOT 169
 AQUIDNECK AVENUE & BRIARWOOD AVENUE
 MIDDLETOWN, RHODE ISLAND
 APRIL 21, 2020



LOCUS MAP

LEGEND

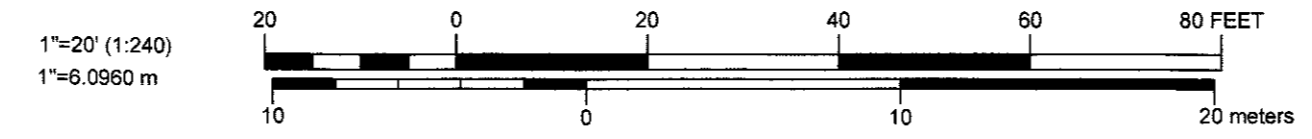
- - FOUND STONE BOUND
- - SET #5 STEEL REBAR
- - FOUND IRON PIPE
- - FOUND RI HIGHWAY BOUND
- - FOUND STEEL REBAR
- N/F - NOW OR FORMERLY
- - EXISTING FENCE
- - OVERHEAD WIRES
- - EXISTING STONE WALL
- XX - RECORD LOT NUMBER



CERTIFICATION:
 This survey has been conducted and the plan prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:
 Type of Survey: Limited Content Survey
 Dates Accumulation Survey: Class I
 Topographic: Class III, T-2
 The purpose for the conduct of the survey and for preparation of the plan is as follows:
 The prepare an existing conditions plan of Lot 169.

MICHAEL J. GASTON
 No. 1815
 PROFESSIONAL LAND SURVEYOR

By: *Michael J. Gaston*
 Michael J. Gaston, PLS#1815
 C.O.A. No: 723



MJ GASTON & ASSOCIATES, LLC
 PROFESSIONAL LAND SURVEYORS
 453 Turner Road
 Middletown, Rhode Island 02842
 tel: 401-846-6539
 mjgaston_pls@cox.net

DRAWN BY: MJG	DATE: April 21, 2020
SCALE: 1" = 20'	DRAWING NO: 170100-A1
JOB NO.: G - 170100	SHEET: 1 OF 1
REVISION NO. 1	DATE: 4-27-2020 (Rim Elevs)
REVISION NO.	DATE:

STREET FILE INDEX:
 Aquidneck Avenue (public)
 Briarwood Avenue (public)

FILE: K:\ExistingSite4_c3d.dwg fhw23 pg 158
 fhw19_pg1171717.fhw20_pg# 21