

# NEWPORT BEACH SUITES

## ASSESSOR'S PLAT 116NW LOT 13 38 PURGATORY ROAD (AQUIDNECK AND WAVE AVENUES) MIDDLETOWN, RHODE ISLAND

CIVIL ENGINEER:

NORTHEAST ENGINEERS  
& CONSULTANTS, INC.



A KNOWLEDGE CORPORATION  
6 VALLEY ROAD MIDDLETOWN RI 02842  
PHONE (401) 849-0810 FAX (401) 846-1169  
WWW.NORTHEASTENGINEERS.COM

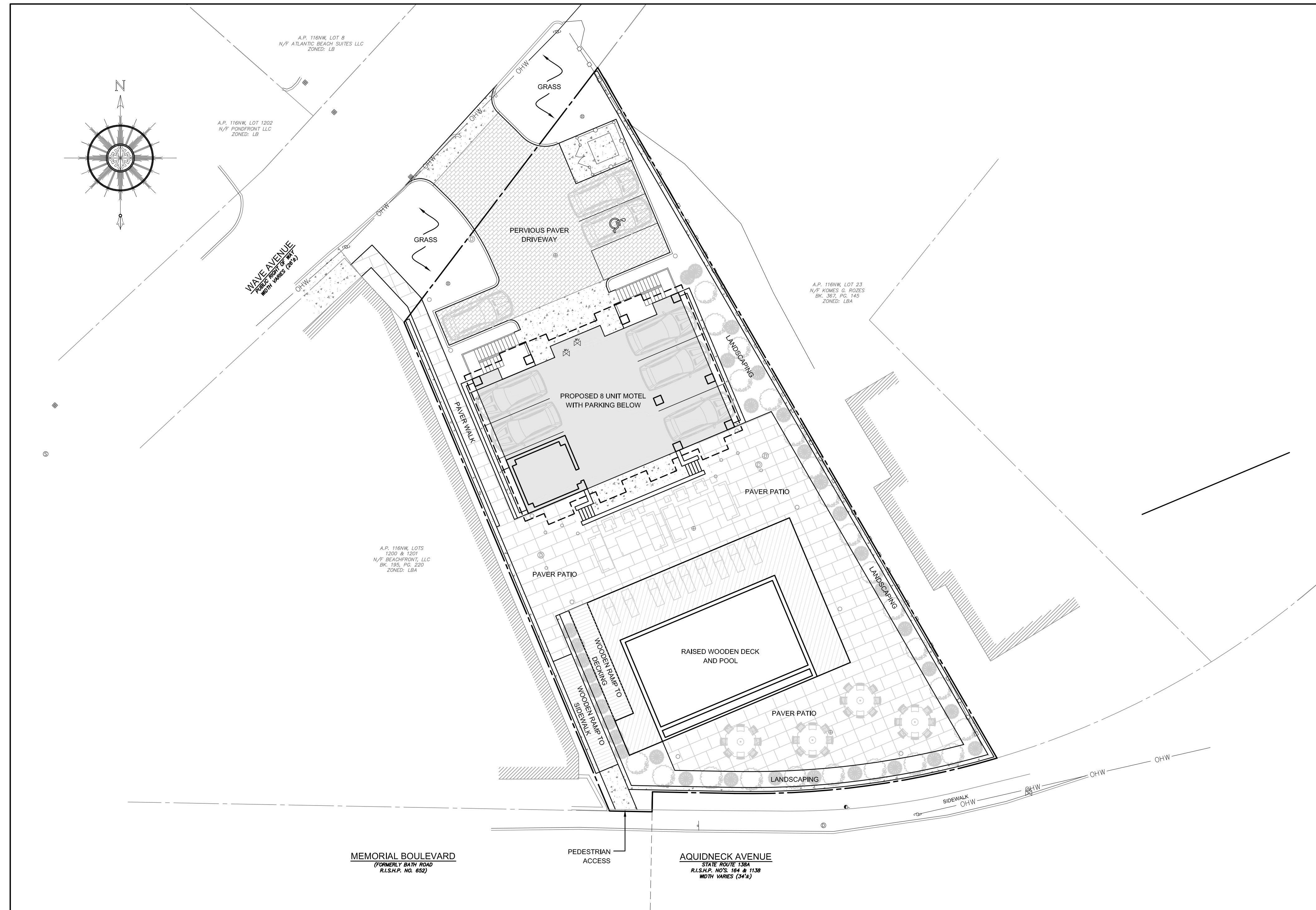
SITE/CIVIL  
LAND PLANNING  
WATERFRONT  
SURVEYING  
GEOTECHNICAL  
ENVIRONMENTAL  
TRANSPORTATION  
STRUCTURAL  
MATERIALS TESTING



ENGINEER CERTIFICATION

OWNER:

WAVE POND HOTEL, LLC  
1140 RESERVOIR AVENUE  
CRANSTON, RI 02920-6320  
T: 401-946-4600  
ngiacobbi@tpgcompanies.com



### SITE PLAN

SCALE = 1"=15'

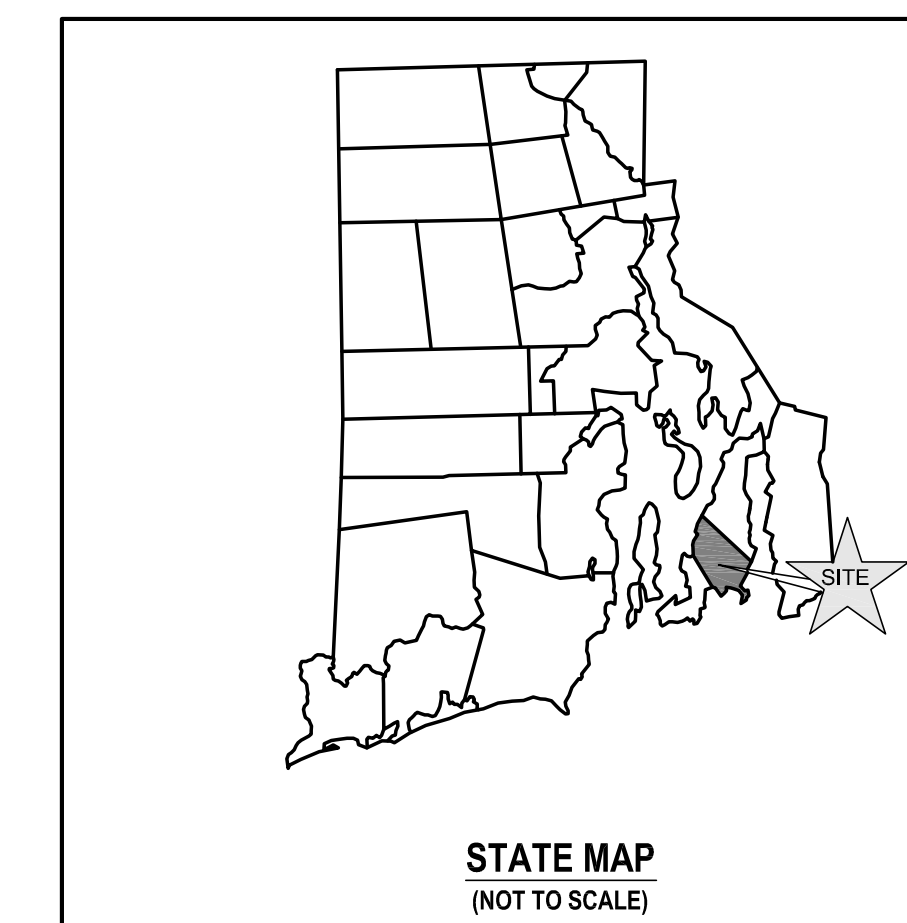
## FEBRUARY 28, 2024 PERMIT SET

### PLAN INDEX

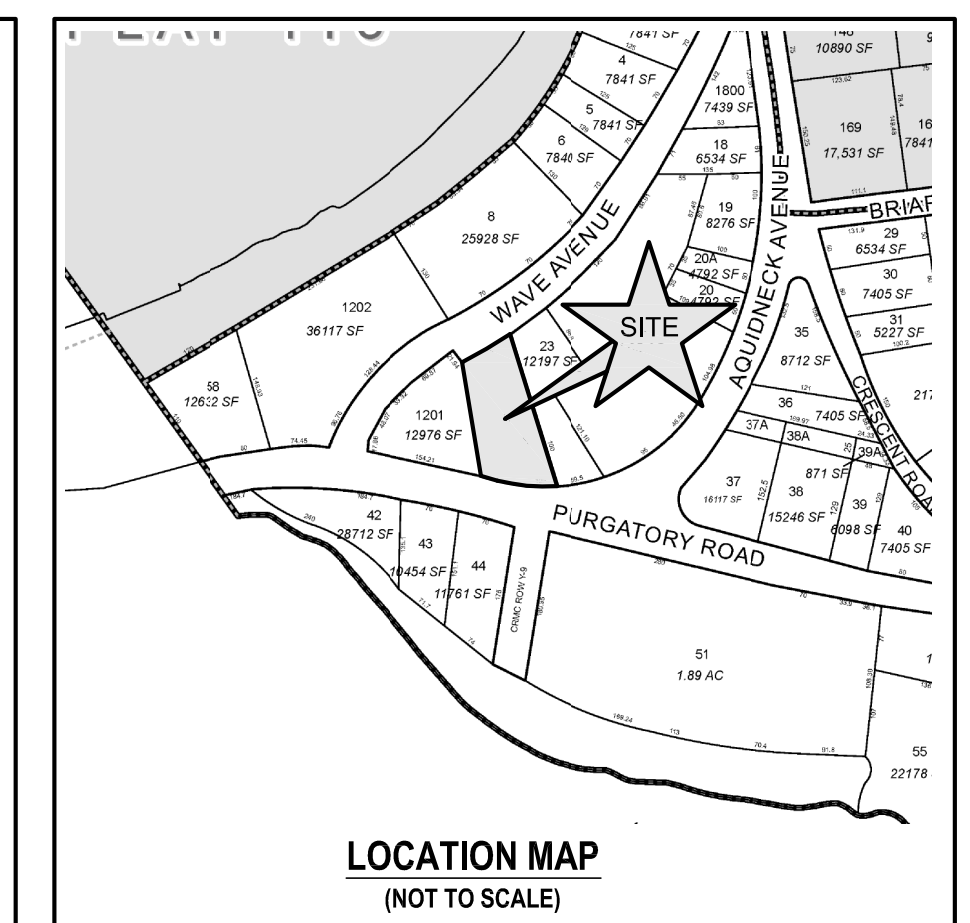
#### SITE/CIVIL ENGINEERING PLANS

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STATE MAP  
(NOT TO SCALE)



LOCATION MAP  
(NOT TO SCALE)

#### SUBMISSION AND REVISION SUMMARY

| AGENCY OR REVISION | DATE:        | COMMENTS:                     |
|--------------------|--------------|-------------------------------|
| RI DOT             | DEC 18, 2023 | PHYSICAL ALTERATION PERMIT    |
| TOWN OF MIDDLETOWN | JAN 09, 2024 |                               |
| TOWN OF MIDDLETOWN | JAN 30, 2024 | POOL AND ROOFLINE ADJUSTMENTS |
| TOWN OF MIDDLETOWN | FEB 28, 2024 | CHANGE UNIT COUNT             |

**GENERAL NOTES**

- EXISTING CONDITIONS ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN MARCH, 2015. SURVEY SUPPLEMENTED WITH ADDITIONAL INFORMATION AND CONVERTED TO NAVD83 VERTICAL DATUM IN NOVEMBER OF 2017.
- ELEVATION BASE NAVD 1988 OBTAINED FROM GPS OBSERVATION.
- PROPERTY IS ZONED ABD (ATLANTIC BEACH DISTRICT).
- NORTH ARROW TAKEN FROM RHODE ISLAND STATE HIGHWAY PLAT NO. 164.
- SOIL EVALUATION PERFORMED BY A LICENSED CLASS IV EVALUATOR ON NOVEMBER 14, 2017. SOIL INFORMATION SHOWN WAS TAKEN FROM THE USDA NATURAL RESOURCES CONSERVATION SERVICE SOIL SURVEY.
- PROPERTIES ARE LOCATED WITHIN A FEMA ZONE "AE (EL. 14)" PER FEMA FIRM 44005C0181J, MAP EFFECTIVE SEPTEMBER 4, 2013.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
- THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE TOWN OF MIDDLETOWN OR THE CITY OF NEWPORT AS APPROPRIATE.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- THE PROPOSED DEVELOPMENT DOES NOT LIE IN ANY OF THE FOLLOWING AREAS:
  - NATURAL HERITAGE AREAS (RIDEM)
  - SPECIAL AREA MANAGEMENT PLAN (CRMC)
  - GROUNDWATER AQUIFERS, STATE DESIGNATED "GROUNDWATER RESERVOIRS", RECHARGE AREAS, OR WELLHEAD PROTECTION AREAS
  - STATE, REGIONAL OR LOCAL GREENWAYS, OR GREENSPACE PRIORITIES
- THE PROJECT IS LOCATED WITHIN MIDDLETOWN WATERSHED PROTECTION DISTRICT 2.

**GRADING NOTES**

- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- THE TOWN SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITIES, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
- THE LIMITS OF DISTURBANCE SHALL BE DELINEATED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITIES.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.
- IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

**UTILITY NOTES**

- THE LOCATION OF PROPOSED ELECTRICAL CONNECTION TO THE EXISTING OVERHEAD SERVICE IN WAVE AVENUE IS PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICE IS SUBJECT TO DESIGN REVIEW AND APPROVAL OF NATIONAL GRID.
- THE PROPOSED DOMESTIC WATER AND FIRE CONNECTIONS TO THE MAIN IN WAVE AVENUE ARE PRELIMINARY AND REQUIRE APPROVAL FROM NEWPORT WATER.
- NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
- THE PROPOSED SEWER CONNECTION SHALL BE 6 INCH IN CONFORMANCE WITH THE TOWN STANDARD. SHOULD THE EXISTING STUB BE LESS THAN 6 INCHES IN DIAMETER, A NEW STUB MAY BE NECESSARY. ANY NEW SEWER CONNECTION SHALL BE PERFORMED IN CONFORMANCE WITH THE MIDDLETOWN DPW REQUIREMENTS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
- IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTASTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO DEMOLITION, THE SEWER SYSTEMS FOR THE TWO EXISTING RESIDENCES SHALL BE DYE TESTED. SHOULD UNDOCUMENTED CONNECTIONS TO THE MUNICIPAL SYSTEM BE DETECTED, THE SERVICES SHOULD BE DISCONNECTED AND PLUGGED DURING DEMOLITION. SHOULD PRIVATE SEPTIC SYSTEMS BE FOUND, THESE SYSTEMS SHALL BE DISCONNECTED, FILLED, AND ABANDONED IN PLACE. DYE TESTS SHOULD BE COORDINATED WITH THE MIDDLETOWN DPW.

**DRAINAGE NOTES**

- ALL DRAIN PIPES SHALL BE PVC UNLESS OTHERWISE NOTED ON THE DRAINAGE PLAN.
- DRAIN MANHOLE SHALL BE ADS NYLOPLAST DRAIN BASIN.
- HOTEL ROOFTOP SHALL DISCHARGE TO THE DRAINAGE SYSTEM AS SHOWN.

**PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES**

- CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- CONSTRUCTION SEQUENCE:
  - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
  - ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA THE EXISTING STABILIZED GRAVEL ACCESS POINT. SHOULD THIS NO LONGER BE POSSIBLE AT ANY POINT DURING CONSTRUCTION, THE CONTRACTOR SHALL CONSTRUCT A SUPPLEMENTAL STABILIZED CONSTRUCTION ENTRANCE CONFORMING TO THE DETAIL PROVIDED AND AS SHOWN ON THE SESC PLAN.
  - INSTALL EROSION CONTROL BARRIERS AND SILT SACKS AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES.
  - CONTRACTOR TO LOCATE EXISTING SEWER AND WATER SERVICES TO EXISTING STRUCTURES. SERVICES SHALL BE DISCONNECTED AND MARKED IN THE FIELD.
  - DEMOLISH EXISTING STRUCTURES, SUBSURFACE TANKS, AND EXISTING IMPROVEMENTS. REMOVE AND DISPOSE OF ALL MATERIAL AT A LICENSED OFF-SITE FACILITY.
  - REMOVE VEGETATION. ANY STUMPS TO BE GROUND OR DISPOSED OF OFF SITE.
  - ROUGH GRADE SITE AND BUILDING AREA. EXCAVATE FOR DRAINAGE SYSTEM.
  - CONSTRUCT HOTEL FOUNDATION IN ACCORDANCE WITH STRUCTURAL PLANS.
  - CONSTRUCT PERIMETER WALLS IN ACCORDANCE WITH STRUCTURAL PLANS.
  - INSTALL UTILITY CONNECTIONS.
  - INSTALL R-RANK CELLS AND PAVER SYSTEM STONE. INSTALL UNDERGROUND SAND FILTERS.
  - FINALIZE PAVER SYSTEMS. INSTALL PAVER CURBING.
  - ENSURE THAT ROOFTOP DRAINAGE SYSTEMS FUNCTION AS NOTED ON DRAINAGE PLAN.
  - INSTALL PLANTINGS. PLANT GRASSES IN ALL UNPAVED AREAS.
  - MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

**2. NOTES:**

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
- ALL 'A' HORIZON MATERIAL SHALL BE REMOVED PRIOR TO THE INSTALLATION OF ANY STRUCTURES OR IMPROVEMENTS.
- ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
- FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
- ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.

**3. VEGETATIVE PRACTICE:**

**PERMANENT MEASURES:**

- SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
- LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
- A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

**TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)**

- LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:  
LIMESTONE: 3 TONS/ACRE  
FERTILIZER: (10-10-10): 600 LBS/ACRE
- SEED SHALL BE APPLIED AT THE FOLLOWING RATE:  
WINTER RYE: 100 LB/ACRE  
F. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

**4. MAINTENANCE**

DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.

- AT A MINIMUM THE EROSION CONTROL BARRIERS (STRAW BALES AND FILTER SOCK) SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
- ANY EROSION CONTROL BLANKETS INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS.
- SILT SACKS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. DURING HEAVY RAIN EVENT, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SACKS IN ORDER TO PREVENT FLOODING. SEDIMENT TRAPPED WITHIN SACKS SHALL BE DISPOSED OF OFF SITE AT A LICENSED FACILITY OR REGRADED ON THE SITE.
- IF INSTALLED, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
- SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER.

**STORMWATER MAINTENANCE NOTES**

- PERVIOUS PAVER MAINTENANCE:
  - VACUUM PORESUS PAVEMENT A MINIMUM OF EVERY THREE (3) MONTHS, ESPECIALLY AFTER WINTER AND FALL SEASONS WHEN DEBRIS ACCUMULATION AND DEPOSITION IS GREATEST. IF PONDING WATER IS OBSERVED DURING PRECIPITATION, CLEANING IS RECOMMENDED.
  - PERVIOUS PAVERS SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. SHOULD PAVEMENT SURFACE FAIL TO DRAIN, THE OWNER SHOULD CONSULT A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE CAUSE OF THE FAILURE AND THE BEST COURSE OF ACTION TO CORRECT THE ISSUE.
  - SAND APPLICATION SHOULD BE LIMITED SINCE ITS USE WILL INCREASE THE NEED FOR VACUUMING.
  - APPLY DE-ICING TREATMENTS DURING AND AFTER STORMS AS NECESSARY TO CONTROL COMPACT SNOW AND ICE. PLOWING IS NOT RECOMMENDED. AS THE EXPOSED PAVEMENT SURFACE IS LIMITED, HAND SHOVELING IS PREFERRED. THIS WILL EXTEND THE SERVICE LIFE OF THE PAVER SURFACE.
  - APPLY ANTI-ICING TREATMENTS PRIOR TO STORMS.
  - WHERE POSSIBLE, AREAS OF PERVIOUS PAVERS SHALL NOT BE SHADED BY LANDSCAPING.
- CONVEYANCE STRUCTURE MAINTENANCE:
  - ALL INLET / OUTFLOW PIPES ARE TO BE INSPECTED AT LEAST THREE TIMES IN THE FIRST SIX MONTHS OF OPERATION. EVIDENCE OF CLOGGING SHALL BE REPORTED TO THE PROJECT ENGINEER AND REMEDIED IMMEDIATELY.
  - CONVEYANCE PIPES SHOULD BE INSPECTED BIANNUALLY. ANY STRUCTURAL FAULTS SHOULD BE REPAIRED AS NECESSARY FOR PROPER FUNCTION OF THE STRUCTURE.
  - ROOF RUNOFF STRUCTURES SUCH AS GUTTERS AND DOWNSPOUTS SHOULD BE CLEAN AND FREE OF OBSTRUCTIONS THAT REDUCE FLOW. A REGISTERED PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF NECESSARY TO DETERMINE WHETHER A STRUCTURE HAS BEEN COMPROMISED.
- R-TANK MAINTENANCE:
  - INSPECTIONS SHOULD BE PERFORMED EVERY 6-MONTHS WITHIN THE FIRST YEAR OF OPERATION AND AT LEAST YEARLY THEREAFTER.
  - USING THE INSPECTION PORTS, MEASURE THE ACCUMULATED SEDIMENTS WITHIN THE R-TANK. SHOULD THE SEDIMENT DEPTH BE GREATER THAN 15% OF THE DEPTH OF THE UNIT (APPROXIMATELY 2-INCHES), THE R-TANK SYSTEM SHALL BE BACK-FLUSHED AND JET-VACED.
  - FOLLOW THE FOLLOWING STEPS FOR THE BACK-FLUSHING PROCEDURE:
    - PLUG SYSTEM OUTLET TO PREVENT DISCHARGE OF BACK-FLUSH WATER.
    - DETERMINE BEST LOCATION TO PUMP OUT BACK-FLUSH WATER. THIS WILL EITHER BE THE OUTLET STRUCTURE OR A MAINTENANCE PORT.
    - REMOVE CAP OF MAINTENANCE PORT AND PUMP WATER AS RAPIDLY AS POSSIBLE INTO SYSTEM THROUGH PORT TO SUSPEND SEDIMENTS. PUMPING DIRTY WATER OUT OF THE SYSTEM FROM THE THE OUTLET OR A MAINTENANCE PORT.
    - REPEAT AT ALL MAINTENANCE PORTS UNTIL SEDIMENT LEVELS ARE REDUCED TO A SATISFACTORY LEVEL.
    - SEDIMENT-LADEN WATER SHALL BE DISPOSED OF PER STATE AND LOCAL REGULATIONS.
    - REPLACE ANY REMAINING CAPS OR COVERS AND REMOVE OUTLET PLUG.
    - RECORD THE BACK-FLUSHING EVEN IN THE MAINTENANCE LOGS AS NOTED IN THE O&M DOCUMENT.

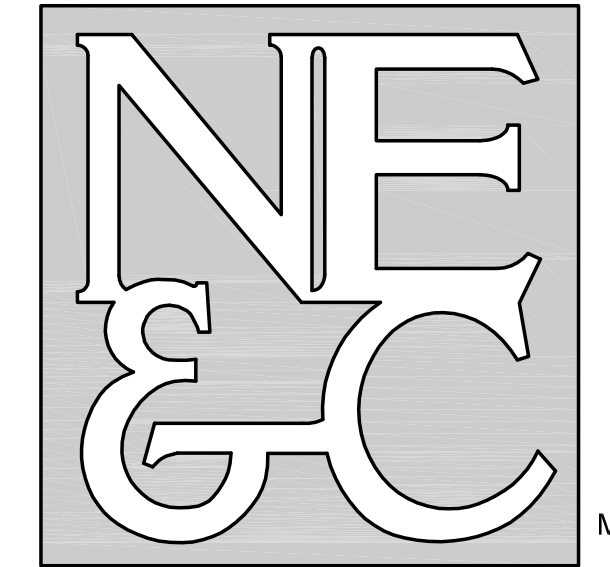
4. MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

5. UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNER.

**ABBREVIATIONS**

|         |   |
|---------|---|
| AC      | ASPHALT PAVEMENT                          |
| ADJ     | ADJACENT                                  |
| AP      | ASSESSOR'S PLAT                           |
| ACCESS  | ACCESSIBLE                                |
| ARCH    | ARCHITECT                                 |
| BC      | BOTTOM OF CURB                            |
| BH      | BORING HOLE                               |
| BT      | BITUMINOUS                                |
| CLR     | CLEARANCE                                 |
| CMP     | CORRUGATED METAL PIPE                     |
| CMU     | CONCRETE MASONRY UNIT                     |
| CONC    | CONCRETE                                  |
| CONN    | CONNECT                                   |
| COTG    | CLEAN OUT TO GRADE                        |
| CF      | CUBIC FOOT                                |
| DEMO    | DEMOLISH                                  |
| DI      | DRAIN INLET                               |
| DA      | DIAMETER                                  |
| DMH     | DRAIN MANHOLE                             |
| dp      | DROP PIPE                                 |
| DS      | DOWN SPOUT                                |
| DWG     | DRAWING                                   |
| E       | ELEVATION                                 |
| ELEVIEL | ELECTRIC                                  |
| EMH     | ELECTRIC MANHOLE                          |
| EOP     | EDGE OF PAVEMENT                          |
| EQ      | EQUAL                                     |
| EXIST   | EXISTING                                  |
| EXP     | EXPANSION                                 |
| FFE     | FINISH FLOOR ELEVATION                    |
| FG      | FINISHED GRADE                            |
| FH      | FIRE HYDRANT                              |
| FT      | FEET                                      |
| G       | GAS                                       |
| GAL     | GALLON                                    |
| GV      | GATE VALVE                                |
| INV     | INVERT                                    |
| JT      | JOINT                                     |
| L       | LENGTH                                    |
| LAND    | LANDSCAPE                                 |
| NTS     | NOT TO SCALE                              |
| MAX     | MAXIMUM                                   |
| MECH    | MECHANICAL                                |
| MN      | MINIMUM                                   |
| PAVT    | PAVEMENT                                  |
| PVC     | POLYVINYLCHLORIDE                         |
| R       | RADIUS                                    |
| RC      | REINFORCED CONCRETE                       |
| RECONN  | RECONNECT                                 |
| RGB     | RHODE ISLAND HIGHWAY BOUND                |
| REDOT   | RHODE ISLAND DEPARTMENT OF TRANSPORTATION |
| ROW     | RIGHT OF WAY                              |
| S       | SLOPE, SEWER                              |
| SF      | SQUARE FEET                               |
| SH      | SEPTIC                                    |
| SMH     | SEWER MANHOLE                             |
| STA     | STATION                                   |
| STRUCT  | STRUCTURAL                                |
| TC      | TOP OF CURB                               |
| TOP     | TOP OF SURFACE                            |
| UGT     | UNDERGROUND TELEPHONE                     |
| TYP     | TYPICAL                                   |
| W       | WATER                                     |
| W       | WITH                                      |
| WWM     | WELDED WIRE MESH                          |

**NORTHEAST ENGINEERS & CONSULTANTS, INC.**

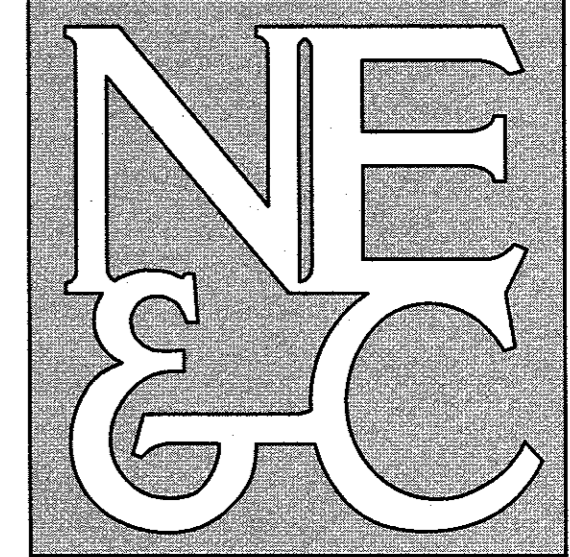


- SITE/CIVIL
- LAND PLANNING
- WATERFRONT
- SURVEYING
- GEOTECHNICAL
- ENVIRONMENTAL
- TRANSPORTATION
- STRUCTURAL
- MATERIALS TESTING

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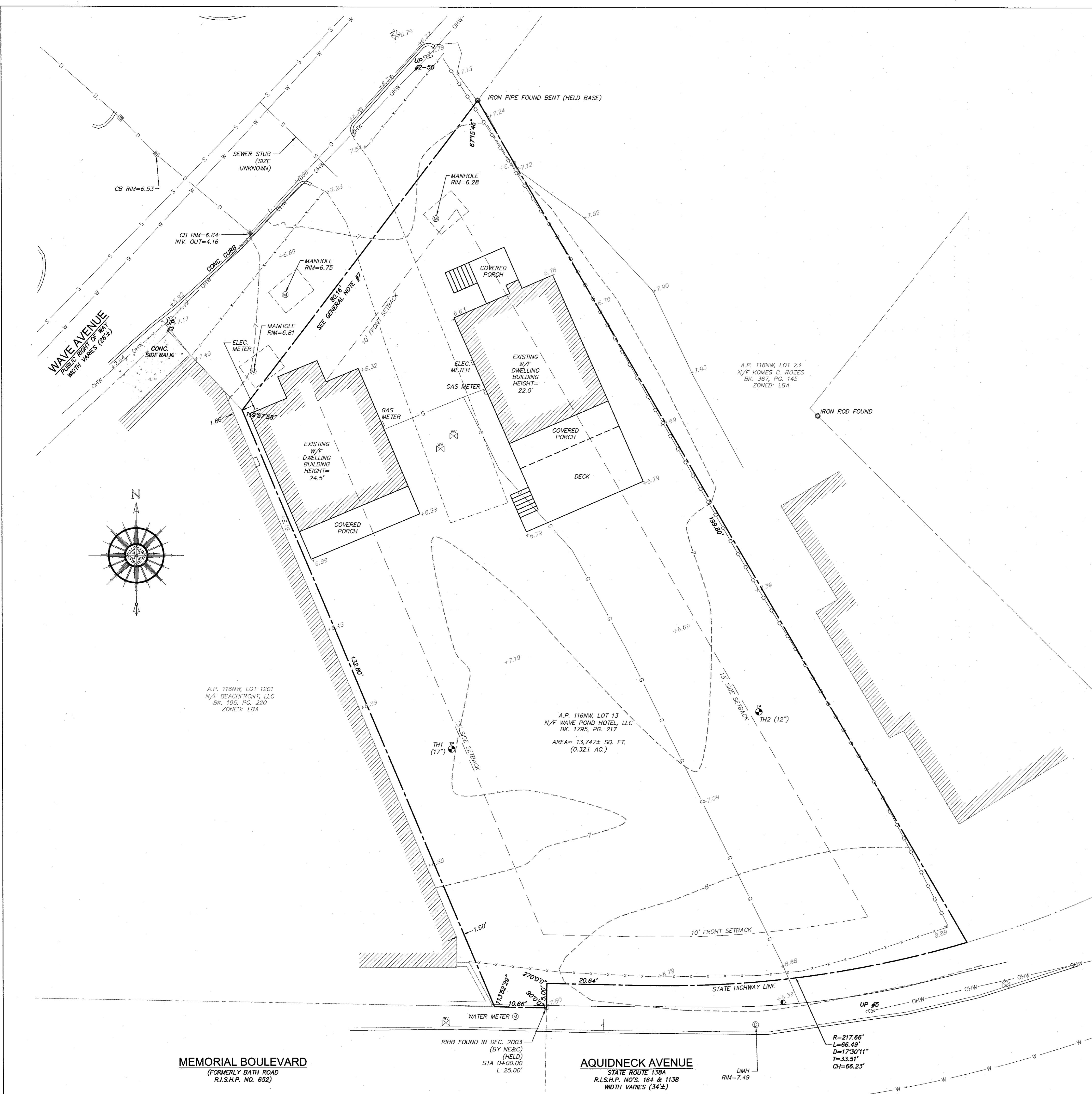
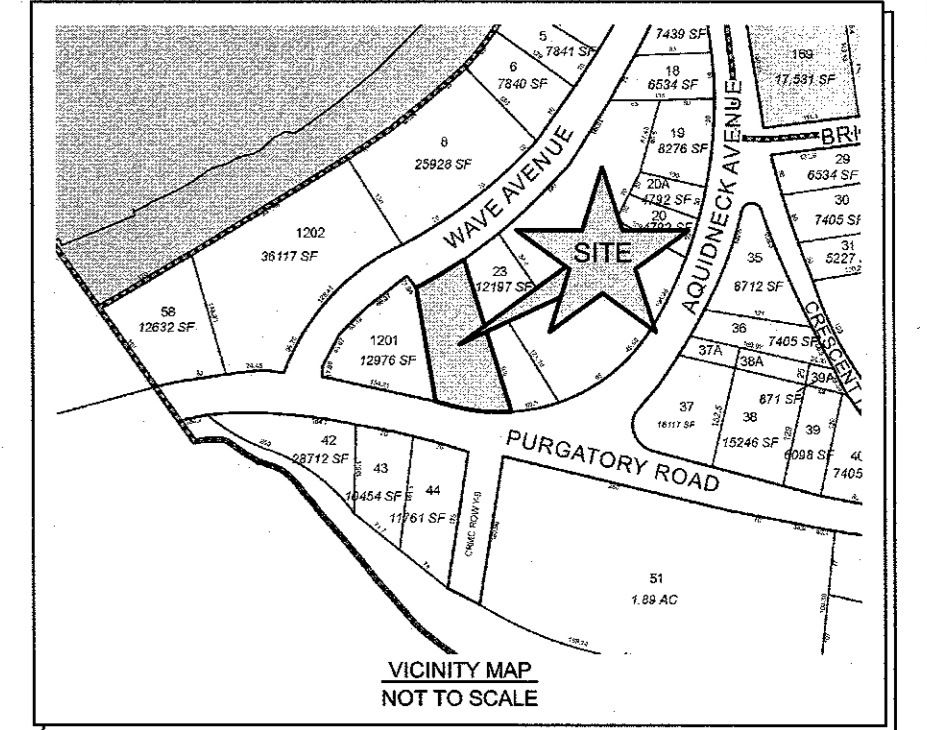
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|   |                      |                        |      |
|---|----------------------|------------------------|------|
|   | UPDATE UNIT COUNT    | 28FEB24                |      |
| 2   | TOWN SUBMISSION      | 09JAN24                |      |
| No.   | Revision             | Date                   | App. |
| Designed By: <b>JJR</b>   | Drawn by: <b>JJR</b> | Checked by: <b>GES</b> |      |
| Scale: <b>N/A</b>   | Date:                | <b>SEE REV.</b>        |      |
| Project Title:  |                      |                        |      |
| <b>NEWPORT BEACH SUITES</b>   |                      |                        |      |
| <b>A.P. 116NW LOTS 13</b>   |                      |                        |      |
| <b>AQUIDNECK AND WAVE AVENUES</b>   |                      |                        |      |
| <b>(38 PURGATORY ROAD)</b>  |                      |                        |      |
| <b>MIDDLETOWN, RHODE ISLAND</b>   |                      |                        |      |
| Client/Owner:   |                      |                        |      |
| <b>WAVE POND HOTEL, LLC</b>   |                      |                        |      |
| <b>1140 RESERVOIR AVENUE</b>  |                      |                        |      |
| <b>CRANSTON, RI 02920-6320</b>  |                      |                        |      |
| Issued for:   |                      |                        |      |
| <b>PERMITTING</b>   |                      |                        |      |
| Drawing Title:  |                      |                        |      |
| <b>PROJECT NOTES</b>  |                      |                        |      |
| Drawing Number:   |                      | <b>C-2</b>             |      |
| Sheet   |                      | <b>2 of 9</b>          |      |
| Project Number:   |                      | <b>15018.1</b>         |      |
| Survey Index:   |                      | <b>13 116NW 13</b>     |      |
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**LEGEND**

|      |                            |
|------|----------------------------|
| ---  | PROPERTY LINE              |
| ---  | ABUTTERS PROPERTY LINE     |
| ---  | TOPOGRAPHIC CONTOUR        |
| +8.0 | SPOT ELEVATION             |
| ---  | WOOD FENCE                 |
| ---  | CHAIN LINK FENCE           |
| ○    | IRON PIPE / ROD            |
| □    | RHODE ISLAND HIGHWAY BOUND |
| ○    | UTILITY POLE               |

- PLAN REFERENCES:**
- "PLAT OF LAND OF FIRST BEACH LAND CO., NEWPORT, R.I." SURVEYED BY J.P. COTTON, DATED JUNE 11, 1907. RECORDED IN PLAN BOOK 1, PAGES 5 & 6.
  - "LAND OF JOSEPH J. CHAVES & AUGUSTINE J. GARCIA" BY HAROLD ST. JOHN, DATED MAY 5, 1976. RECORDED IN DEED BOOK 120, PAGE 208.
  - "PLAN OF LAND NOW OR FORMERLY OF PURGATORY ASSOCIATES" BY LEON M. SHAW, RLS, DATED 8/12/84. RECORDED IN BOOK 13, MAP 180.
  - "ADMINISTRATIVE SUBDIVISION, A.P. 116NW, LOTS 15, 16, 17, 21, 22 & 22A, MIDDLETOWN, RI" BY NORTHEAST ENGINEERS & CONSULTANTS, INC. LAST REVISED 4/28/05. RECORDED IN THE TOWN OF MIDDLETOWN CLERK'S OFFICE.
  - RHODE ISLAND STATE HIGHWAY PLAT NO. 164, DATED OCTOBER 5, 1927.
  - RHODE ISLAND STATE HIGHWAY PLAT NO. 652, DATED MAY 3, 1940.
  - RHODE ISLAND STATE HIGHWAY PLAT NO. 1138, DATED JUNE 28, 1960.

- GENERAL NOTES:**
- EXISTING CONDITIONS ARE THE RESULT A OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN MARCH, 2015. SURVEY SUPPLEMENTED WITH ADDITIONAL INFORMATION AND CONVERTED TO NAVD88 VERTICAL DATUM IN NOVEMBER OF 2017.
  - NORTH ARROW TAKEN FROM RHODE ISLAND STATE HIGHWAY PLAT NO. 164.
  - BASE OF ELEVATIONS: NAVD88.
  - THIS PROPERTY IS IN ZONE "AE (EL 14)" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 44005C0181J, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 4, 2013, AND IS IN A SPECIAL FLOOD HAZARD AREA.
  - REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, NORTHEAST ENGINEERS & CONSULTANTS, INC. IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
  - PLAN REFERENCE #1 INDICATES A SLIGHT CURVE ON WAVE AVENUE. NO GEOMETRY ON PLAN DEFINES CURVE. THIS BOUNDARY LINE LOCATION PROVIDES, AND HAS HISTORICALLY PROVIDED, UNINTERRUPTED ACCESS TO WAVE AVENUE

**CERTIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

|  |   |
|--|---|
| <b>TYPE OF SURVEY:</b><br>COMPREHENSIVE BOUNDARY SURVEY<br>(SEE GENERAL NOTE 6)<br>DATA ACCUMULATION (EXISTING CONDITIONS) | <b>MEASUREMENT SPECIFICATION:</b><br>CLASS I<br>CLASS III |
|--|---|

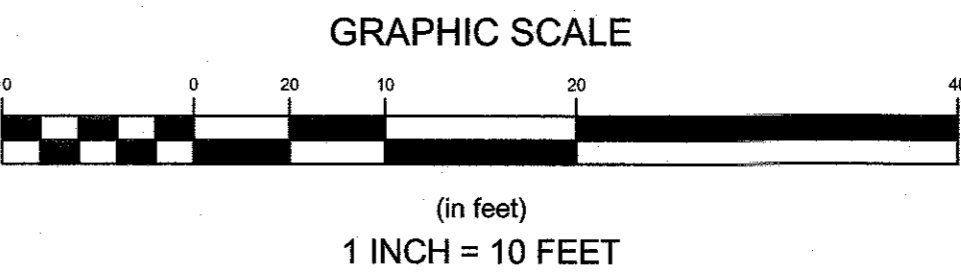
**STATEMENT OF PURPOSE:**

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

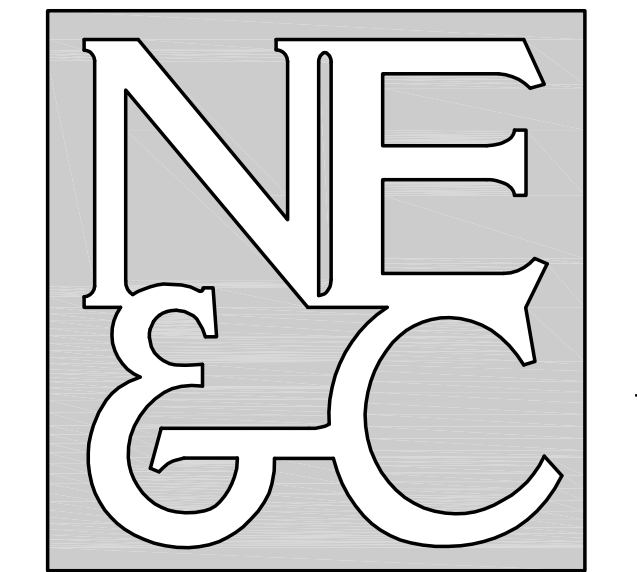
TO DETERMINE THE LOCATION OF THE PROPERTY BOUNDARY OF A.P. 116NW LOT 13 IN MIDDLETOWN, RI AND TO SHOW EXISTING PHYSICAL FEATURES.

BY: *Sean M. Leach* NO. 1907  
DATE: 1/19/24  
COA NO. 1359

SEAN M. LEACH  
No. 1907  
PROFESSIONAL  
LAND SURVEYOR



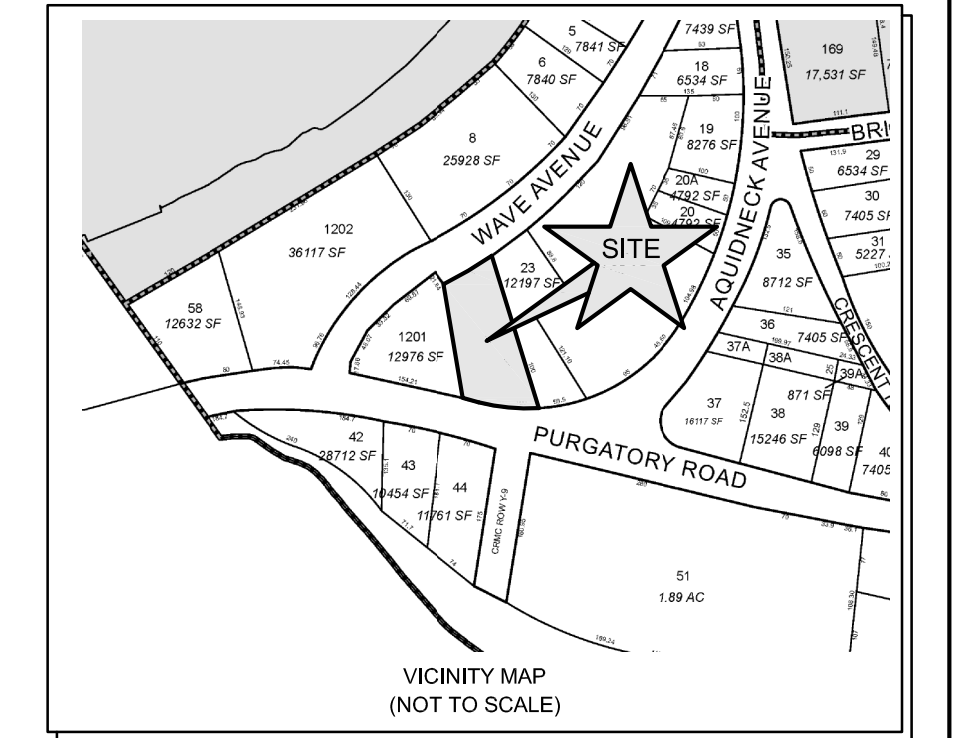
|   |          |             |         |
|---|----------|-------------|---------|
| No.   | Revision | Date        | App.    |
| Designed By:  | ---      | Drawn by:   | JJR     |
| Checked by:   | ---      | Checked by: | GES     |
| Scale:  | 1"=10'   | Date:       | 09JAN24 |
| Project Title:  |          |             |         |
| <b>NEWPORT BEACH SUITES</b><br>A.P. 116 NW LOT 13<br>38 PURGATORY ROAD<br>AQUIDNECK AND WAVE AVENUES<br>MIDDLETOWN, RHODE ISLAND  |          |             |         |
| Client/Owner:   |          |             |         |
| WAVE POND HOTEL, LLC<br>1140 RESERVOIR AVENUE<br>CRANSTON, RI 02920-6320  |          |             |         |
| Issued for:   |          |             |         |
| PERMITTING  |          |             |         |
| Drawing Title:  |          |             |         |
| <b>EXISTING<br/>CONDITIONS PLAN</b>   |          |             |         |
| Drawing Number:   |          |             |         |
| <b>C-3</b>  |          |             |         |
| Sheet 3 of 9  |          |             |         |
| Project Number:   |          |             |         |
| <b>15018.1</b>  |          |             |         |
| Survey Index:   |          |             |         |
| 13 - 116NW - 13   |          |             |         |
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**DIMENSIONAL REGULATIONS**  
ZONING DISTRICT: ATLANTIC BEACH DISTRICT (ABD)

|                    | EXISTING            | REQ. ZONING MOTEL USE | ADJ. ZONING FOR SUBSTANDARD SIZE | PREVIOUSLY APPROVED | PROPOSED            |
|--------------------|---------------------|-----------------------|----------------------------------|---------------------|---------------------|
| LOT SIZE           | 13,747 SQ FT        | 20,000 SQ FT          | 13,747 SQ FT                     | 13,747 SQ FT        | 13,747 SQ FT        |
| LOT WIDTH          | 97.2 FT (AQUIDNECK) | 120 FT                | 83.2 FT (AQUIDNECK)              | 97.2 FT (AQUIDNECK) | 97.2 FT (AQUIDNECK) |
| FRONT YARD SETBACK | 1.7 FT              | 10 FT                 | 6.9 FT                           | 10.5 / 28 FT        | 16.3 FT / 10 FT     |
| REAR YARD SETBACK  | N/A                 | 20 FT                 | 13.7 FT                          | N/A                 | N/A                 |
| SIDE YARD SETBACK  | 1 FT / 4.7 FT       | 20 FT                 | 13.7 FT                          | 20 FT               | 10 FT / 9.9 FT      |
| BUILDING HEIGHT    | N/M                 | 35 FT MAX             | 35 FT MAX                        | VARIANCE REQ.       | 35 FT MAX.          |
| LOT COVERAGE       |                     |                       |                                  |                     |                     |
| BUILDINGS          | 14.3%               | 25% MAX               | 36.4%                            | 35%                 | 36.4%               |

**DENSITY REQUIREMENTS (MOTEL)**

|                            | ALLOWED    | PROPOSED |
|----------------------------|------------|----------|
| 1,000 SQUARE FEET PER UNIT | 13.7 UNITS | 8 UNITS  |

**MINIMUM PARKING REQUIREMENTS**

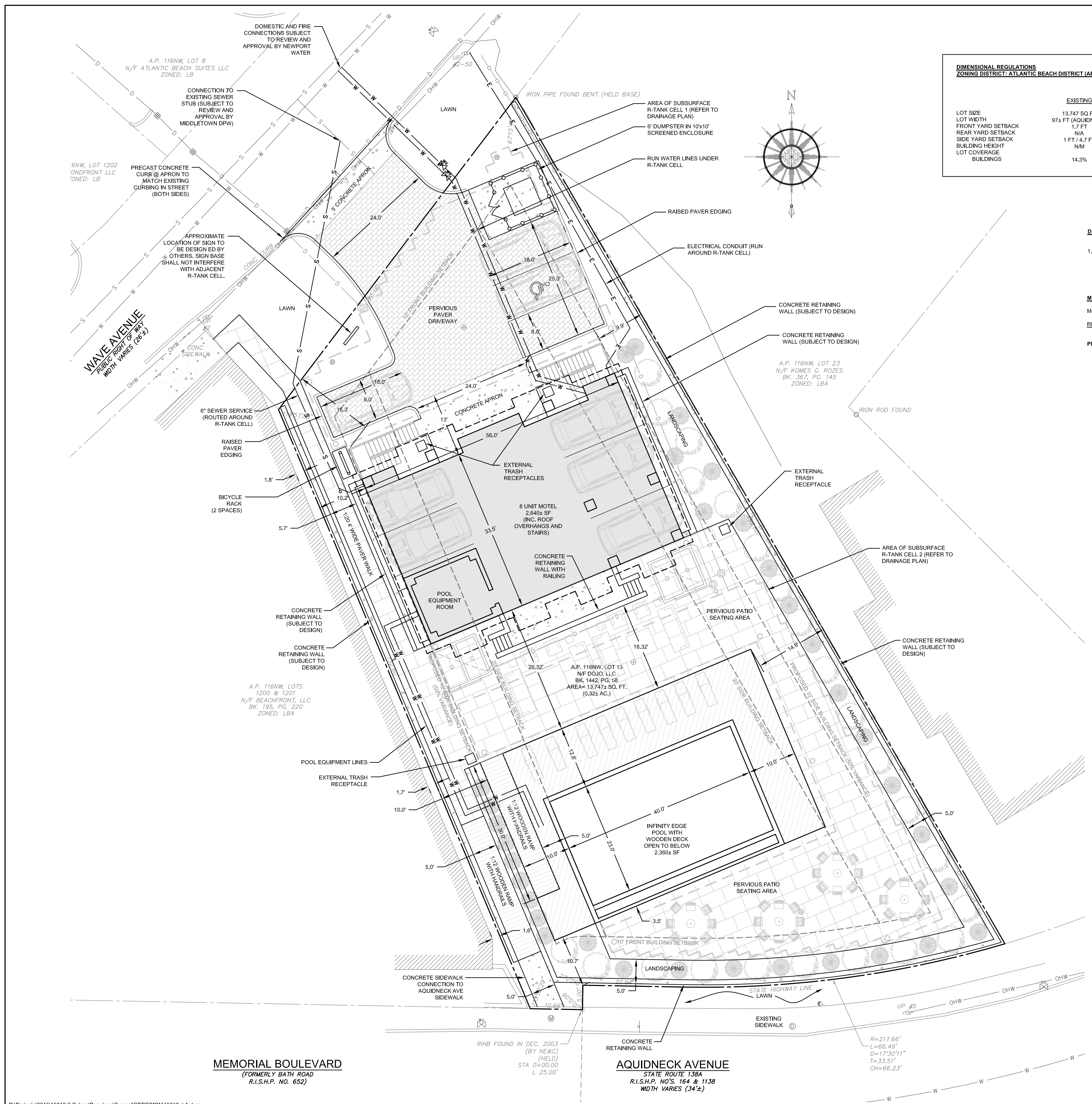
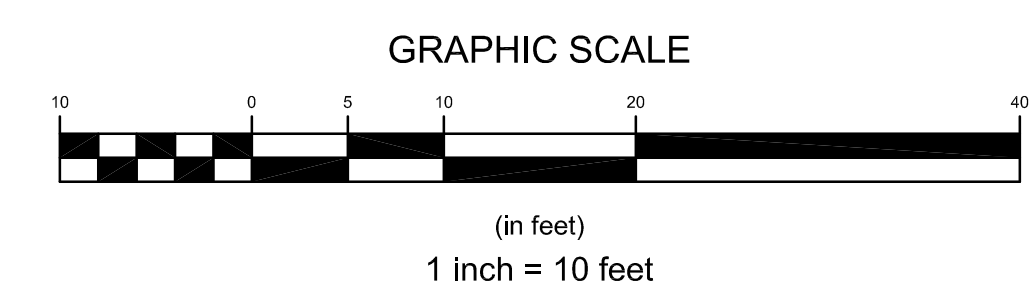
|                  |                          |
|------------------|--------------------------|
| MOTEL            | 4 SPACES PLUS 1 PER UNIT |
| REQUIRED PARKING | 12 SPACES (1 HC)         |
| PROVIDED PARKING | 8 SPACES                 |

- RIDOT NOTES**
- THERE WILL BE NO ADVERSE IMPACT TO THE LOCAL STREET SYSTEM OF AQUIDNECK AVENUE AS A RESULT OF THIS DEVELOPMENT AS THERE IS NO PROPOSED ACCESS.
  - ALL WORK TO BE DONE WITHIN THE STATE HIGHWAY RIGHT OF WAY (ROW) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 EDITION WITH ALL REVISIONS AND ADDENDA, STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS.
  - ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION, INCLUDING ALL REVISIONS.
  - WHILE THERE IS NO UTILITY WORK PROPOSED ADJACENT TO AQUIDNECK AVENUE ON THIS PLAN, ANY SUCH WITHIN A STATE RIGHT OF WAY MUST BE APPLIED FOR UNDER A SEPARATE RIDOT UTILITY PERMIT.
  - ALL DISTURBED AREAS WITHIN THE RIDOT R.O.W. SHALL BE LOAMED AND SEEDDED. REFER TO VEGETATIVE PRACTICE NOTES ON SHEET C-2.

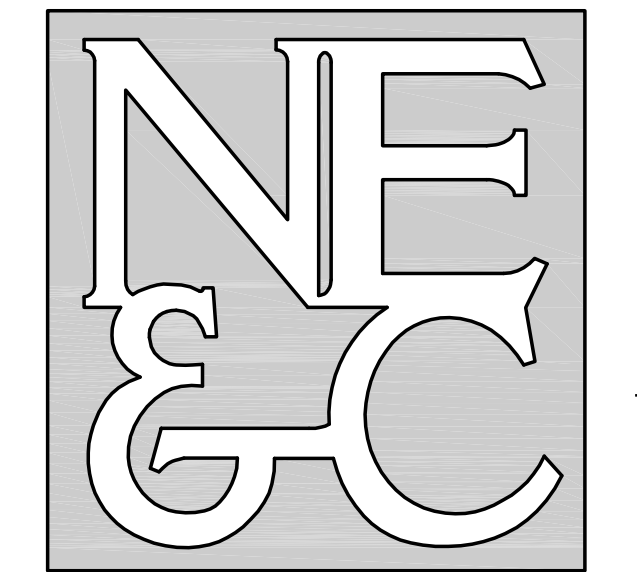
**LEGEND**

|         |                            |
|---------|----------------------------|
| ---     | PROPERTY LINE              |
| ---     | ABUTTERS PROPERTY LINE     |
| —○—○—○— | WOOD FENCE                 |
| ○       | IRON PIPE / ROD            |
| □       | RHODE ISLAND HIGHWAY BOUND |
| ⊕       | UTILITY POLE               |
| ---     | PAVER CURBING              |
| W       | WATER SERVICE LINE         |
| S       | 6" SEWER SERVICE LINE      |
| ⊗       | GATE VALVE                 |
| E       | ELECTRICAL CONDUIT         |
| ---     | BUILDING SETBACK LINE      |
| ⊕       | ADS DRAIN BASIN            |
| D       | DRAIN LINE                 |

- GENERAL NOTES:**
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  - NORTH ARROW TAKEN FROM RHODE ISLAND STATE HIGHWAY PLAT NO. 164.
  - BASE OF ELEVATIONS: NAVD88.
  - THIS PROPERTY IS IN ZONE "AE (EL 14)" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4400500181J, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 4, 2013, AND IS IN A SPECIAL FLOOD HAZARD AREA.
  - REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.



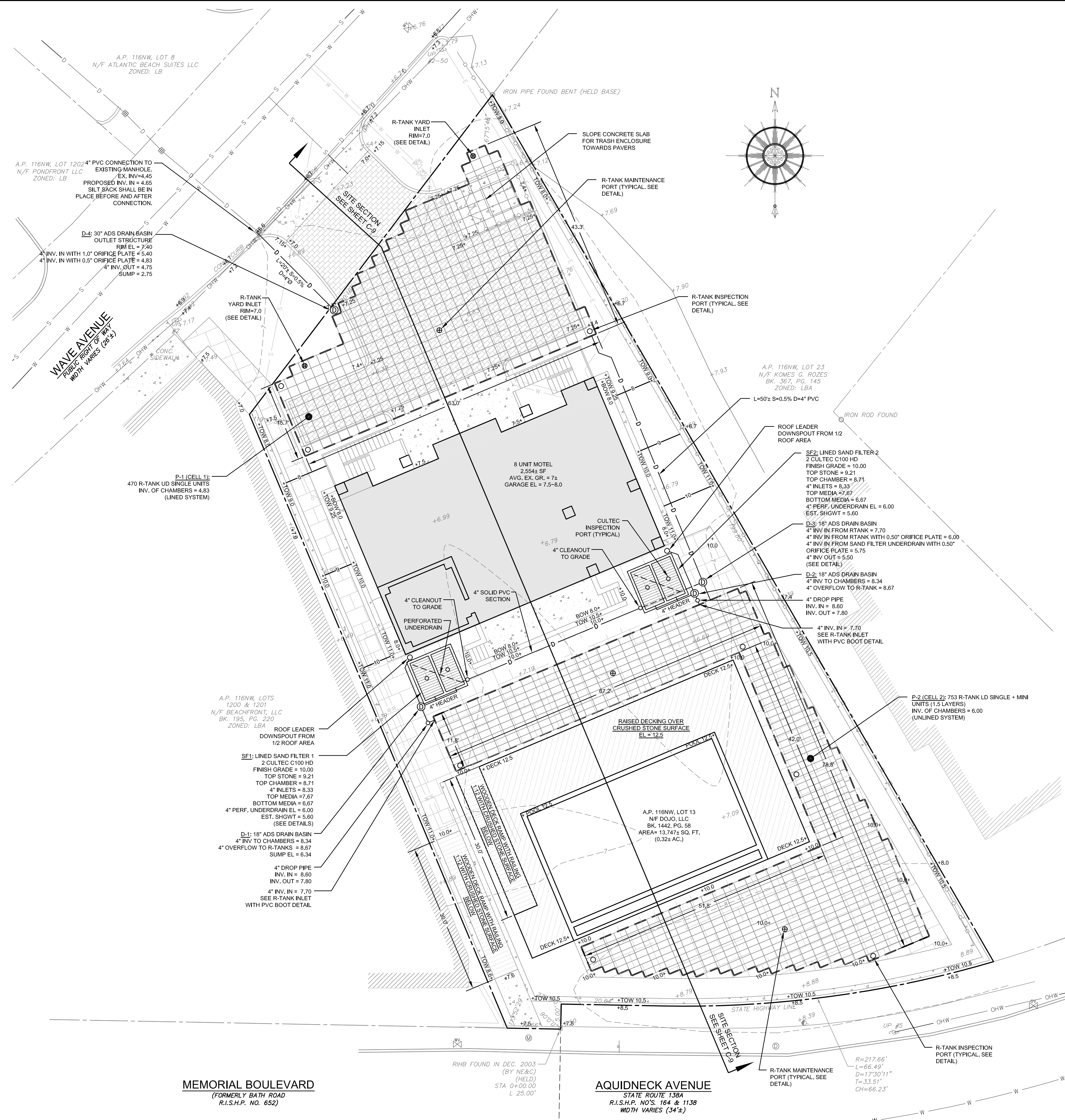
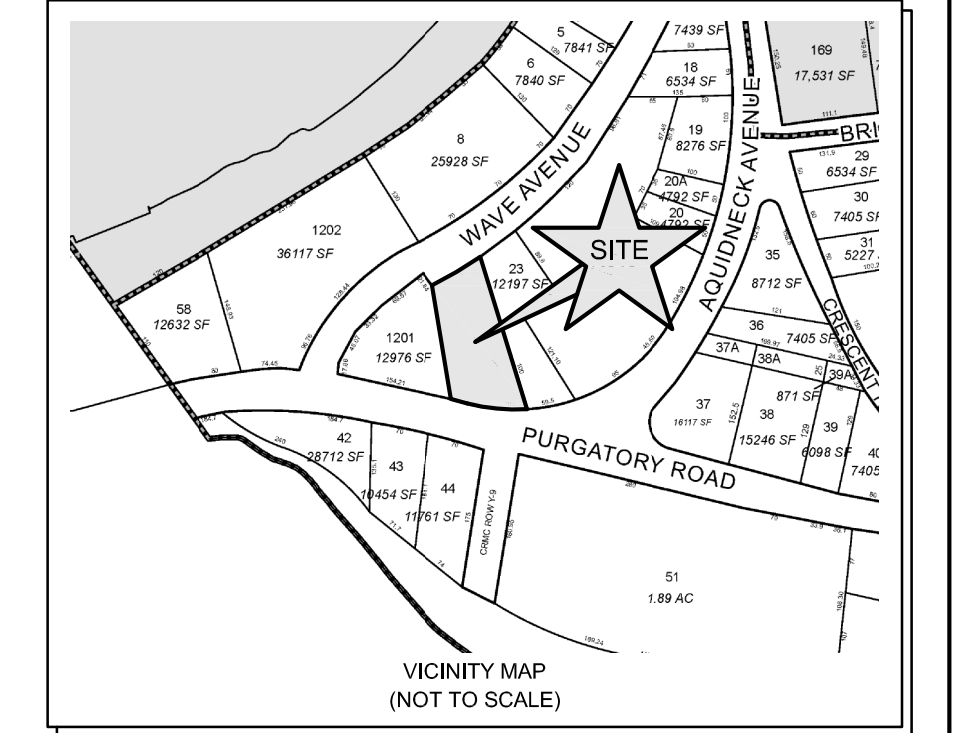
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|---|-------------------------------|-----------|----------|-------------|-----|
| 3   | UPDATE UNIT COUNT             | 28FEB24   |          |             |     |
| 2   | POOL AND ROOFLINE ADJUSTMENTS | 30JAN24   |          |             |     |
| 1   | TOWN SUBMISSION               | 09JAN24   |          |             |     |
| No.   | Revision                      | Date      | App.     |             |     |
| Designed By:  | JJR                           | Drawn by: | JJR      | Checked by: | GES |
| Scale:  | 1"=10'                        | Date:     | SEE REV. |             |     |
| Project Title:  |                               |           |          |             |     |
| <b>NEWPORT BEACH SUITES</b>   |                               |           |          |             |     |
| A.P. 116NW LOT 13   |                               |           |          |             |     |
| AQUIDNECK AND WAVE AVE  |                               |           |          |             |     |
| (38 PURGATORY ROAD)   |                               |           |          |             |     |
| MIDDLETOWN  |                               |           |          |             |     |
| RHODE ISLAND  |                               |           |          |             |     |
| Client/Owner:   |                               |           |          |             |     |
| WAVE POND HOTEL, LLC  |                               |           |          |             |     |
| 1140 RESERVOIR AVENUE   |                               |           |          |             |     |
| CRANSTON, RI 02920-6320   |                               |           |          |             |     |
| Issued for:   |                               |           |          |             |     |
| PERMITTING  |                               |           |          |             |     |
| Drawing Title:  |                               |           |          |             |     |
| <b>LAYOUT AND UTILITY PLAN</b>  |                               |           |          |             |     |
| Drawing Number:   |                               |           |          |             |     |
| <b>C-4</b>  |                               |           |          |             |     |
| Sheet 4 of 9  |                               |           |          |             |     |
| Project Number:   |                               |           |          |             |     |
| <b>15018.1</b>  |                               |           |          |             |     |
| Survey Index:   |                               |           |          |             |     |
| 13 116NW 13   |                               |           |          |             |     |
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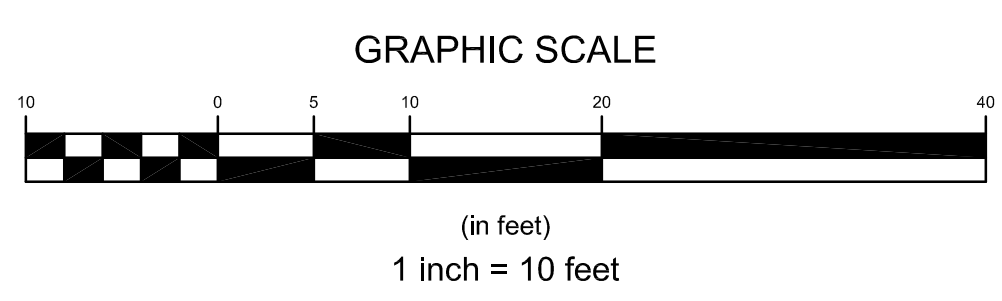
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**LEGEND**

|       |                            |
|-------|----------------------------|
| —     | PROPERTY LINE              |
| - - - | ABUTTERS PROPERTY LINE     |
| - - - | TOPOGRAPHIC CONTOUR        |
| +8.0  | SPOT ELEVATION             |
| ○     | WOOD FENCE                 |
| ○     | IRON PIPE / ROD            |
| □     | RHODE ISLAND HIGHWAY BOUND |
| ○     | UTILITY POLE               |
| —     | WATER SERVICE LINE         |
| S     | 6" SEWER SERVICE LINE      |
| ⊗     | GATE VALVE                 |
| —     | ELECTRICAL CONDUIT         |
| ⊙     | ADS DRAIN BASIN            |
| D     | DRAIN LINE                 |

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|              |                               |           |          |             |     |
|--------------|-------------------------------|-----------|----------|-------------|-----|
| 3            | UPDATE UNIT COUNT             | 28FEB24   |          |             |     |
| 2            | POOL AND ROOFLINE ADJUSTMENTS | 30JAN 24  |          |             |     |
| 1            | TOWN SUBMISSION               | 09JAN24   |          |             |     |
| No.          | Revision                      | Date      | App.     |             |     |
| Designed by: | JJR                           | Drawn by: | JJR      | Checked by: | GES |
| Scale:       | 1"=10'                        | Date:     | SEE REV. |             |     |

**NEWPORT BEACH SUITES**  
A.P. 116NW LOT 13  
AQUIDNECK AND WAVE AVE  
(38 PURGATORY ROAD)  
MIDDLETOWN  
RHODE ISLAND

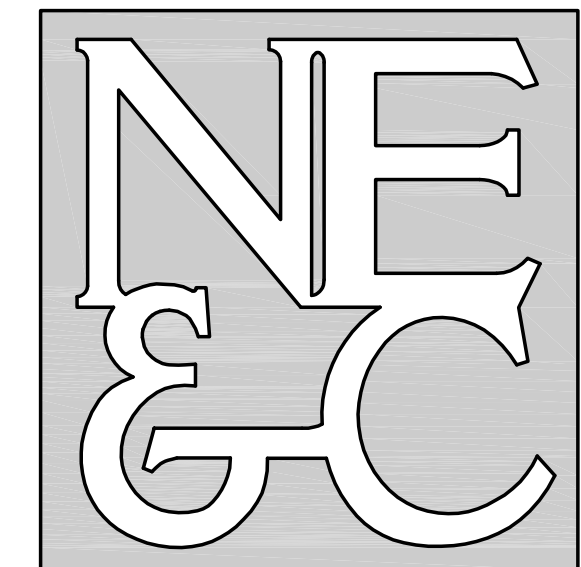
Client/Owner:  
WAVE POND HOTEL, LLC  
1140 RESERVOIR AVENUE  
CRANSTON, RI 02920-6320

Issued for:  
PERMITTING

Drawing Title:  
GRADING AND DRAINAGE PLAN

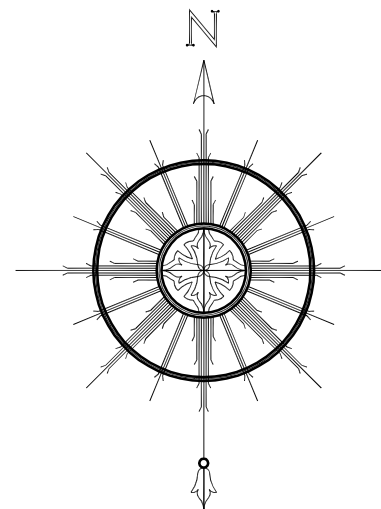
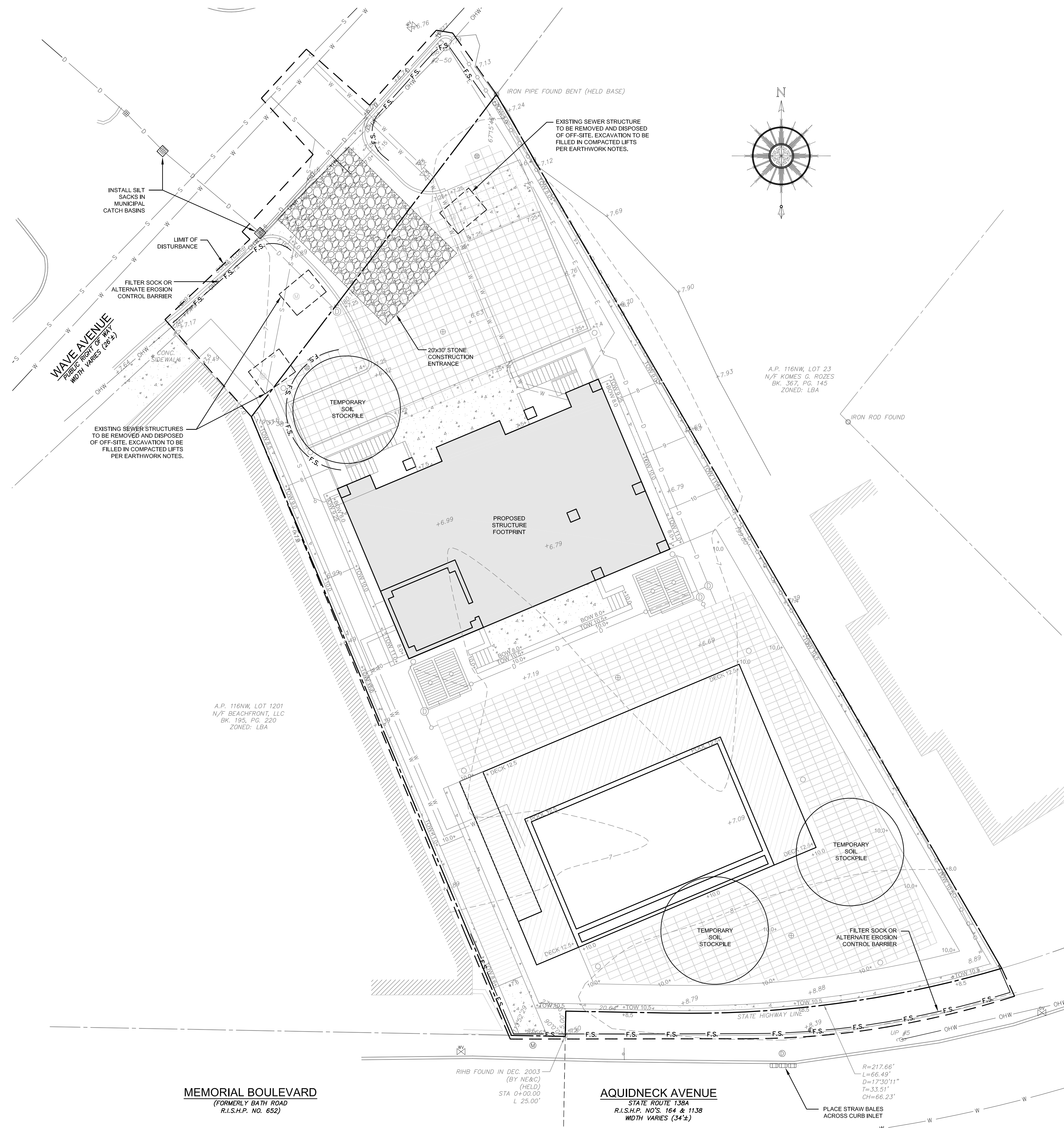
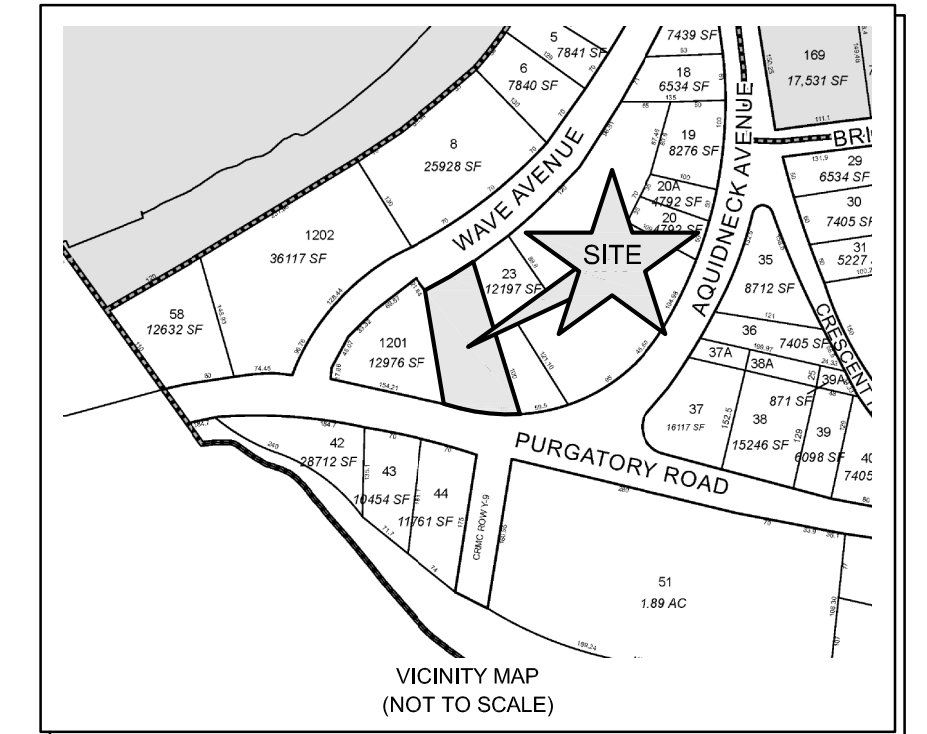
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|  | Drawing Number: | C-5           |
|  | Sheet           | 5 of 9        |
|  | Project Number: | 15018.1       |
|  | Survey Index:   | 13 -116NW- 13 |

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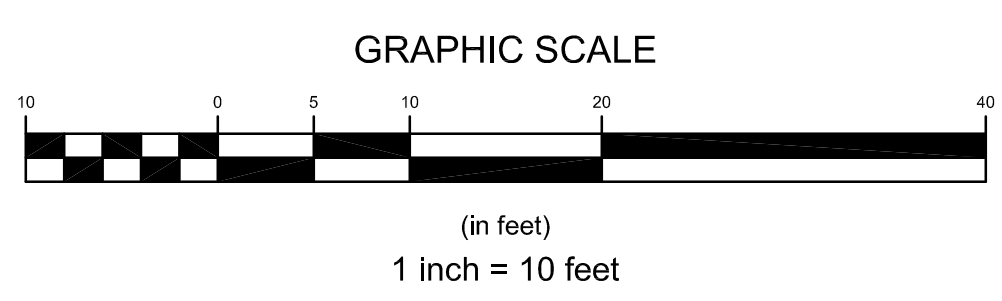
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**LEGEND**

|       |                            |
|-------|----------------------------|
| ---   | PROPERTY LINE              |
| - - - | ABUTTERS PROPERTY LINE     |
| - - - | TOPOGRAPHIC CONTOUR        |
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| E     | ELECTRICAL CONDUIT         |
| ⊙     | ADS DRAIN BASIN            |
| —     | DRAIN LINE                 |
| F.S.  | EROSION CONTROL BARRIER    |
| □     | STRAWBALE BARRIER          |
| - - - | LIMIT OF DISTURBANCE       |

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| 2            | POOL AND ROOFLINE ADJUSTMENTS | 30JAN24   |         |
|--------------|-------------------------------|-----------|---------|
| 1            | TOWN SUBMISSION               | 09JAN24   |         |
| No.          | Revision                      | Date      | App.    |
| Designed By: | JJR                           | Drawn by: | JJR     |
| Checked by:  | GES                           | Date:     | 18DEC23 |

Project Title:  
**NEWPORT BEACH SUITES**  
A.P. 116NW LOT 13  
AQUIDNECK AND WAVE AVE  
(38 PURGATORY ROAD)  
MIDDLETOWN  
RHODE ISLAND

Client/Owner:  
WAVE POND HOTEL, LLC  
1140 RESERVOIR AVENUE  
CRANSTON, RI 02920-6320

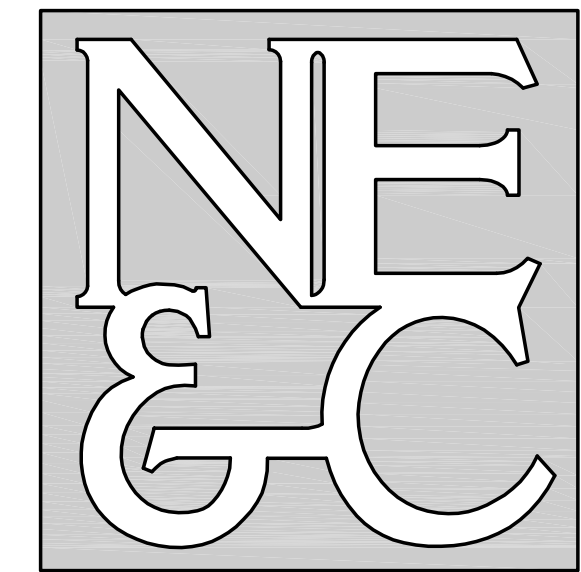
Issued for:  
PERMITTING

Drawing Title:  
**SOIL EROSION AND  
SEDIMENT CONTROL PLAN**

|  |                                       |
|--|---------------------------------------|
|  | Drawing Number:<br><b>C-6</b>         |
|  | Sheet <b>6</b> of <b>9</b>            |
|  | Project Number:<br><b>15018.1</b>     |
|  | Survey Index:<br><b>13 -116NW- 13</b> |

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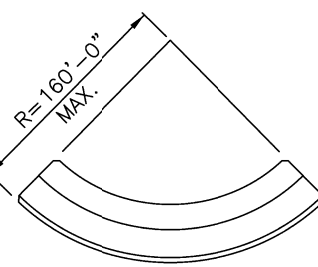
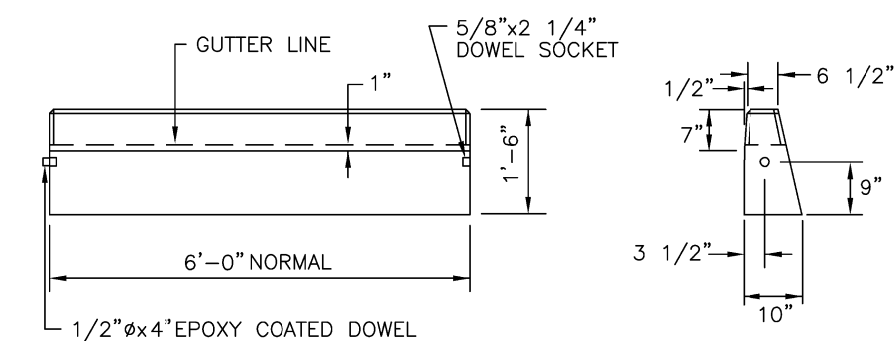




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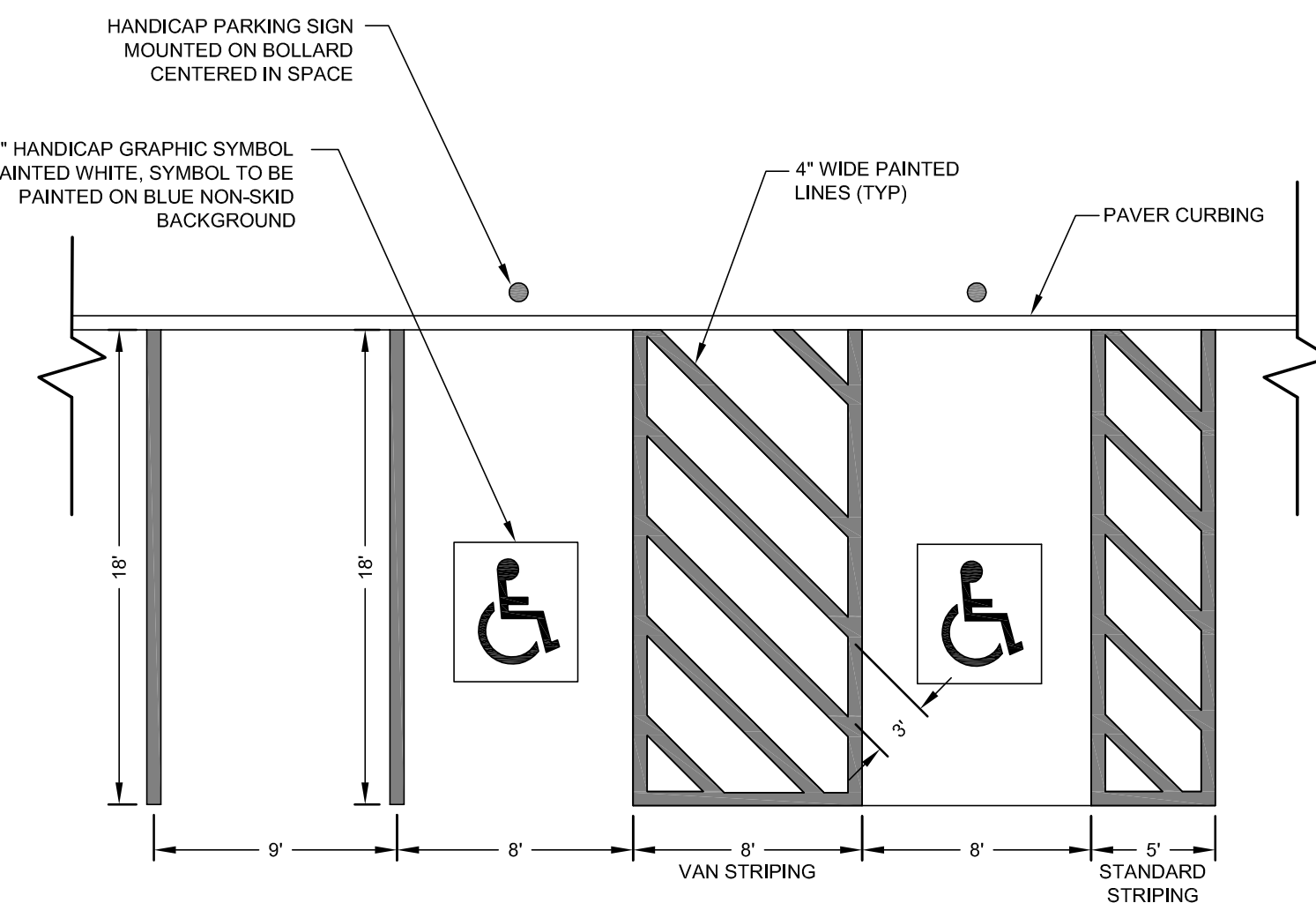


CIRCULAR CURB

- NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".  
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.  
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.  
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

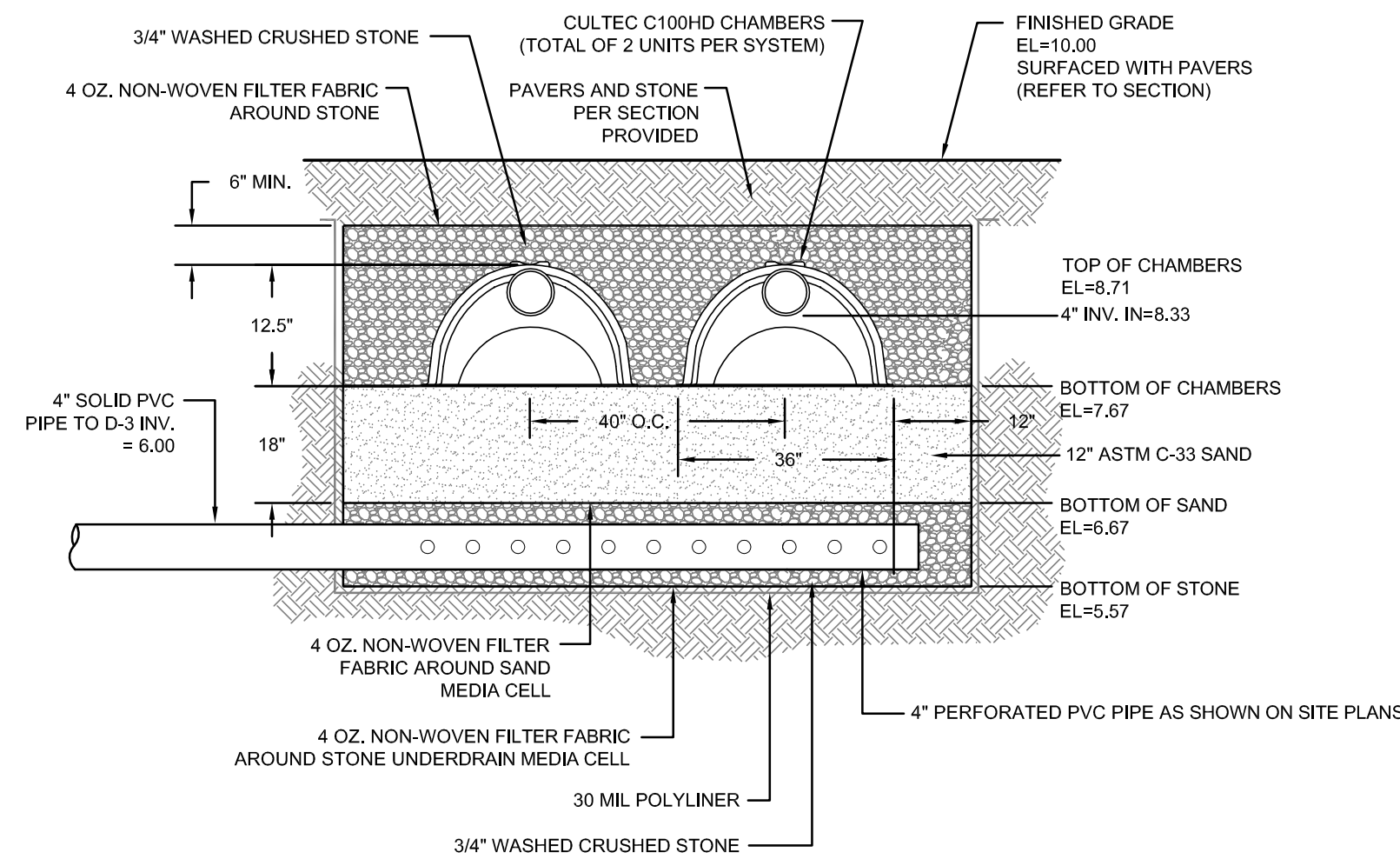
**PRECAST CONCRETE CURB (RIDOT STD 7.1.0)**

SCALE: NOT TO SCALE  
FOR CURBING ADJACENT TO ROADWAY



**PARKING STALL STRIPING**

SCALE: NOT TO SCALE

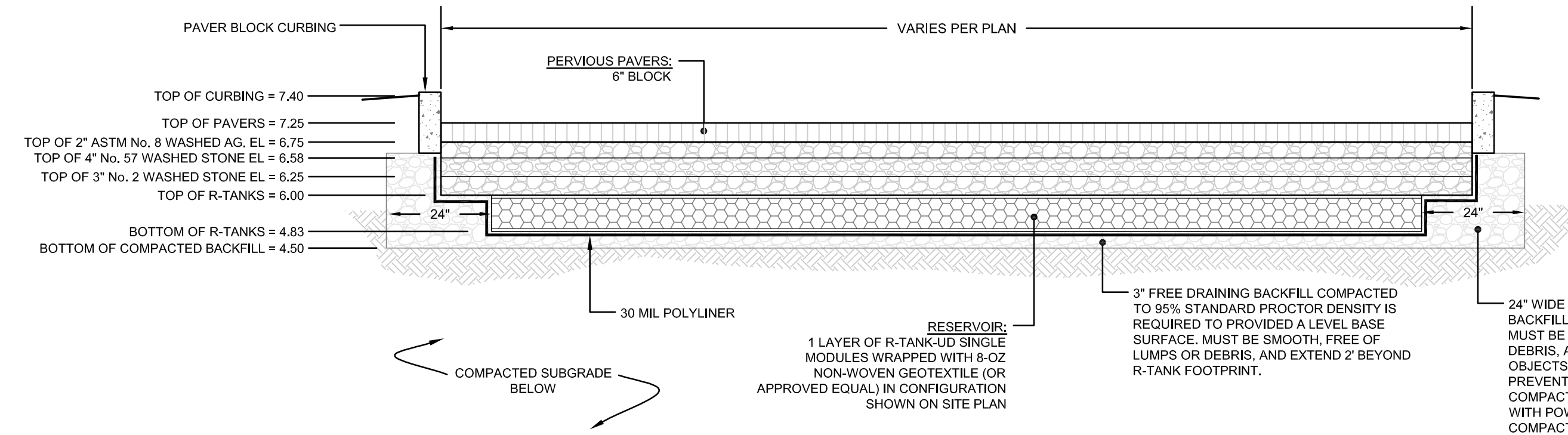


NOTE: EXCAVATION FOR SYSTEM MUST BE LINED WITH A 30 MIL POLYLINER TO PREVENT INTERACTION WITH GROUNDWATER

**SUBSURFACE SAND FILTER SECTION**

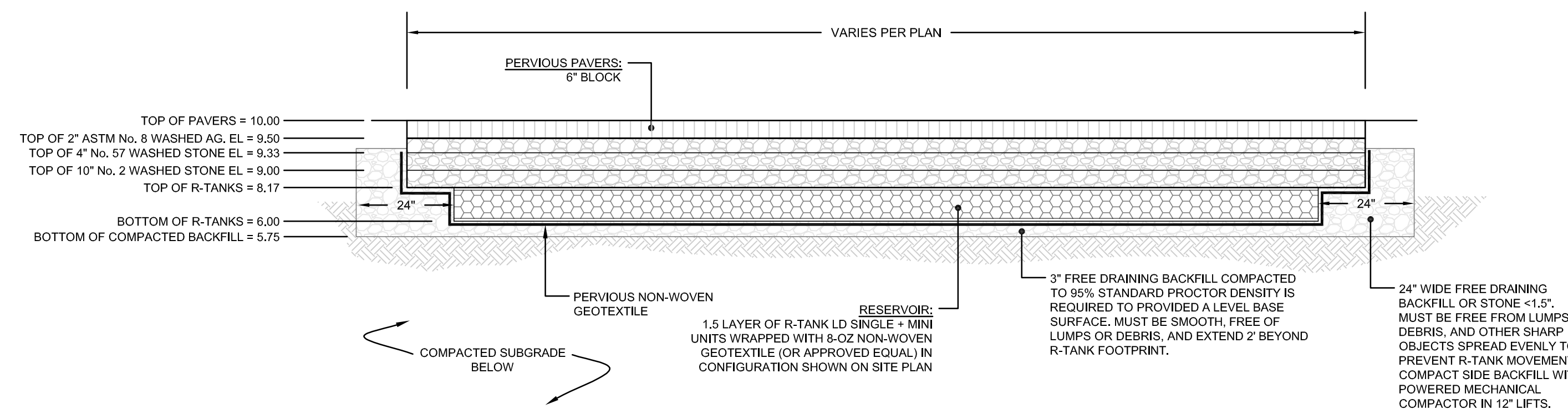
(TYPICAL FOR U-1 AND U-2)

SCALE: NOT TO SCALE



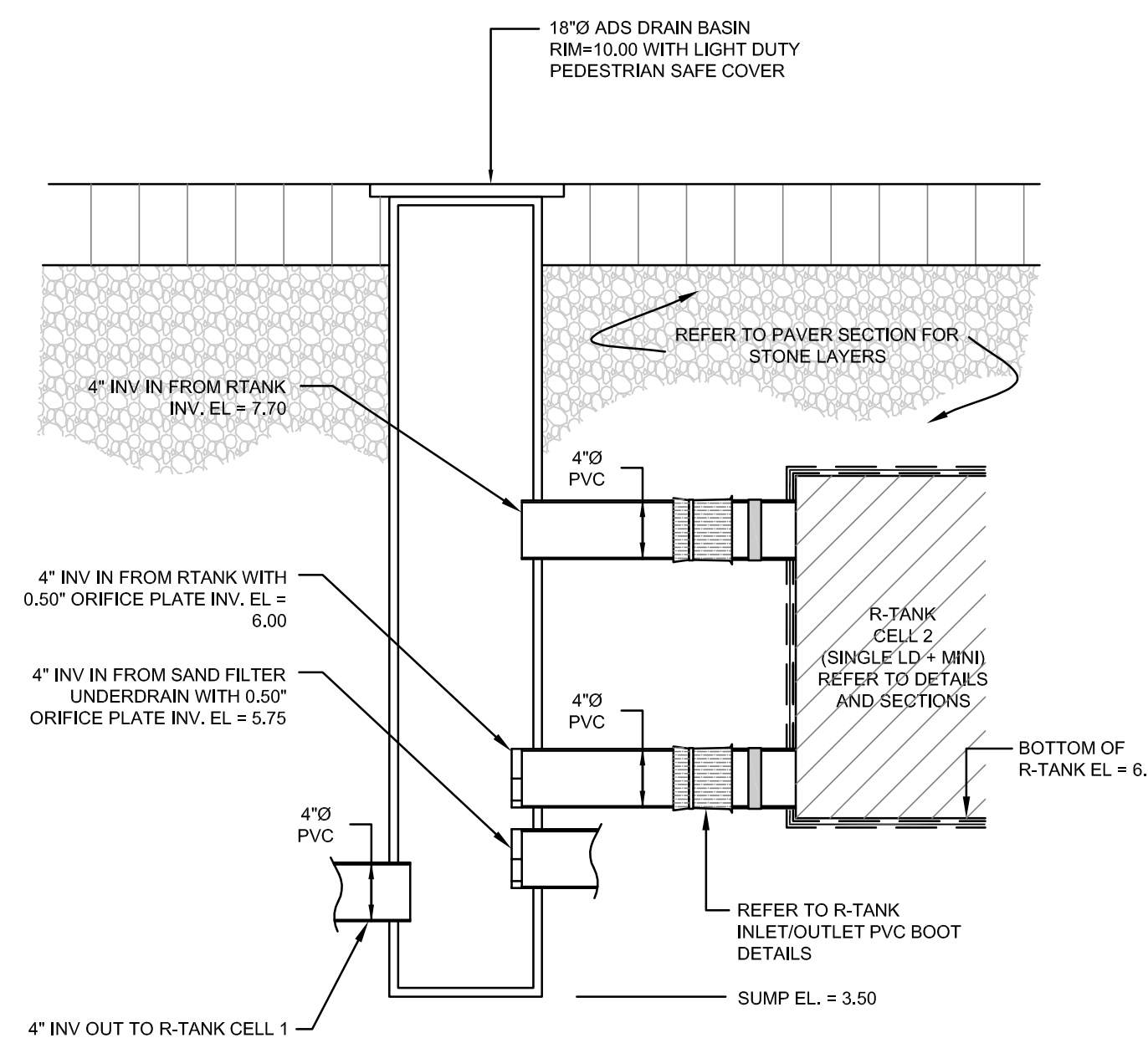
**PERVIOUS PAVER DRIVEWAY SECTION**

SCALE: NOT TO SCALE



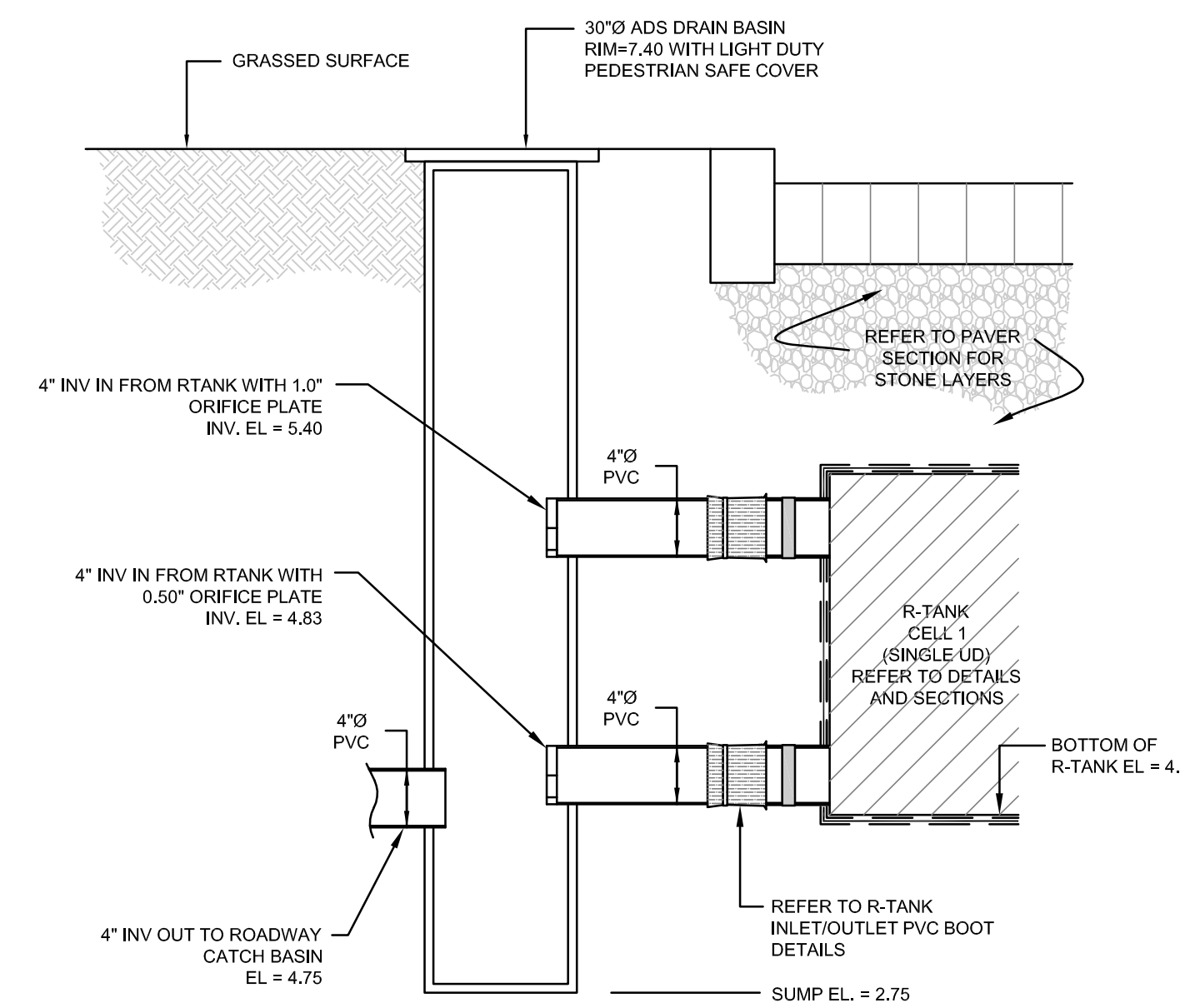
**PERVIOUS PAVER PATIO SECTION**

SCALE: NOT TO SCALE



**DRAIN BASIN D-3 CONNECTION DETAIL**

SCALE: NOT TO SCALE



**DRAIN BASIN D-4 CONNECTION DETAIL**

SCALE: NOT TO SCALE

|  |  |                |  |
|--|--|----------------|--|
| No.  | Revision   | Date           | App.   |
| Designed By:   | JJR  | Drawn by:      | JJR  |
| Checked by:  | GES  | Scale:         | AS SHOWN   |
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| Drawing Title:   | SITE DETAILS<br>SHEET 2  |                |  |
| Drawing Number:  | C-8  | Sheet          | 8 of 9   |
| Project Number:  | 15018.1  | Survey Index:  | 13 -116NW- 13  |
|  |  |                |  |
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